# ARCHITECTURAL FEATURES:

LARGE, UNADORNED AND MONOLITHIC BUILDING FACES AND WALLS SHALL BE PROHIBITED. MULTIPLE ARCHITECTURAL, AND TRIM COMPONENTS INCLUDING CHANGES IN COLOR, TEXTURE, MATERIAL AND PAINE OF USING A REVEAL, OFFSET OF ROJECTION BY BEALL BE INCORPORATED INTO THE BUILDING DESIGN. CORNER LOCATIONS SHALL BE CONSIDERED OPPORTUMITIES FOR DISTINCTIVE DESIGN ON EACH PROVINCIA.

ARCHITECTURAL FEATURES INCLUDE CHANGE IN COLOR AND MATERIAL THROUGHOUT TO ENHANCE BUILDING MASS, PROVIDED REVEALS THROUGH SCORE JOINTS AND TEXTURE FOR ACCENTS.

#### ROOFLINES:

VAMATIONS IN ROQUINE ACCOMPLISED BY VARING THE BUILDINGS MASS IN HEIGHT AND WIDTH SO IT APPEARS DUMBER WITH OSSISTED ALBERTS THROUGH PROJECTIONS, RECESSED AND VERTICAL CHANGES IN ROOF EXCESS AND SLOPES, LENGTHY ROOFS WITH SOME TRANSITION BUT APPEARANG TO BE FLAT SHALL NOT BE PERMITTED, ROOFFOO YES GROUND MECHANICAL EQUIMENT SHALL BE CON SIGNED IN THE INITIAL STAGE OF DESIGN AND SHALL BE SCREENED THROUGH INCORPORATION NOT THE RICHTEUTURAL FORM AND LAYOUT OF THE BUILD WITH MICROPROVEN ONTO THE RECHITE FURNISHED AND THE STAGE OF THE PROPERTY OF THE

BUILDING MASS IS ARTICULATED THROUGH THE VARYING HEIGHTS OF THE VERTICAL PARAPETS AND THROUGH PROJECTIONS AND RECESSED FORMS ALONG THE FACADE. INCLUDING THE SLOPE ROOF

#### **ROOF TYPES:**

ALL ROOF TYPES ARE ALLOWED. THE USE OF GABLE ROOFS, CROSS GABLE ROOFS, AND DORMERS ARE ENCOURAGED FOR BUILDINGS OF TWO STORIES OR LESS. FLAT ROOFS SHALL PROVIDE HORIZONTAL ARTICLILATION WITH A BUILDING CAP AT THE TOP OF THE BUILDING BASE AND/OR INCORPORATE THE USE OF PARAPETS.

PARAPETS PROVIDED WITH HORIZONTAL ARTICULATION AND ADORNED WITH BUILDING CAPS AND DECORATED CORNICES, SHINGLE ROOF COMBINATIONS 6/12 AND 9/12 SLOPE.

## MATERIALS AND COLORS:

BUILDING FACADES SHALL BE COMPOSED OF NATURAL MATERIALS SUCH AS BRICK, STONE OR WOOD SIDING ON HIGH-QUALITY, MAN MADE MATERIALS SUCH AS STUCCO AND THITED OR TEXTURBE CONCRETE MASSOMET. THE USE OF VINYS SIMM MAY NOT COMMISES MORE PROFILED TO SERVING MAY NOT COMMISES WHITE ACCENT COLORS MAN BE APPLIED TO ARCHITECTURAL DESIGN EARTH TOWES WHILE ACCENT COLORS MAN BE APPLIED TO ARCHITECTURAL DESIGN SEAM, OR V-CRIMP METAL, STANDING SEAM, OR V-CRIMP METAL, SHEETING EXTERIOR WALLS OR WALL COVERNIOS. THE MATERIALS USED ON THE STEET FACHING FACES MIST RETURN AROUND EXTERIOR CONNERS AND TERMINATE ONLY AT AN INTERVAL.

PAINT (P1) SW 7004 SNOWBOUND















SW 7018 DOVETAIL

# TRANSPARENCY:

ADJACENT TO STREETS, SIDEWALKS, AND PUBLICLY ACCESSIBLE PARKING AREAS -NON-RESIDENTIAL BUILDINGS SHALL PROVIDE A MINIMUM FACADE TRANSPARENCY OF 50 PERCENT AT PEDESTRIAN LEVEL (BETWEEN TWO AND EIGHT FEET ABOVE FFE ELEVATION).

RESIDENTIAL BUILDINGS SHALL PROVIDE A MINIMUM FACADE TRANSPARENCY OF 25 PERCENT AT PEDESTRIAN LEVEL (BETWEEN TWO AND EIGHT FEET ABOVE FFE ELEVATION).

APARTMENT BUILDING: 27%(266 SF) OF GLAZING(TRANSPARENCY) PROVIDED 1,000 SF FACADE AREA(BETWEEN 2\* ABOVE FFE ELEVATION) DIVIDED BY 4(25%) = 250 SF REQUIRED



FRONT APARTMENT BUILDING ELEVATION

ISPARENCY CALCULATIONS ARE BASED OFF 2 TO 8 FEET ABOVE FFE ELEVATION



LEFT APARTMENT BUILDING ELEVATION



**RIGHT** APARTMENT BUILDING ELEVATION



**REAR** APARTMENT BUILDING ELEVATION

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PAINT (P1) SW 7004 SNOWBOUND





SW 9175 DEE[ FOREST BROWN



METAL (PF1)





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RESIDENTIAL BUILDINGS SHALL PROVIDE A MINIMUM FACADE TRANSPARENCY OF 25 PERCENT AT PEDESTRIAN LEVEL (BETWEEN TWO AND EIGHT FEET ABOVE FFE ELEVATION).

52%(449 SF) OF GLAZING(TRANSPARENCY) PROVIDED. 859 SF FACADE AREA(BETWEEN 2-8" ABOVE FFE ELEVATION) DIVIDED BY 2(50%) = 430 SF REQUIRED

CLUBHOUSE

50%(202 SF) OF GLAZING(TRANSPARENCY) PROVIDED. 398 SF FACADE AREA(BETWEEN 2'-6' ABOVE FFE ELEVATION) DIVIDED BY 2(50%) = 199 SF REQUIRED



FRONT CLUBHOUSE ELEVATION



**RIGHT** CLUBHOUSE ELEVATION



**REAR CLUBHOUSE ELEVATION** 



**LEFT CLUBHOUSE ELEVATION** 

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PAINT (P1)









PAINT (P2) SW 7018 DOVETAIL







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CARRIAGE

26%(120 SF) OF GLAZING(TRANSPARENCY) PROVIDED. 460 OF FACADE AREA(DETWEEN 2° 8' ABOVE FFE ELEVATION) DIVIDED BY 4(25%) = 115 SF REQUIRED



FRONT CARRIAGE ELEVATION



**RIGHT** CARRIAGE ELEVATION



**REAR CARRIAGE ELEVATION** 



LEFT CARRIAGE ELEVATION

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SW 9175 DEE[ FOREST BROWN









**LEFT GARAGE ELEVATION** 





**LEFT GARAGE ELEVATION** 



**REAR** GARAGE ELEVATION



FRONT MAINTENANCE ELEVATION





**RIGHT** MAINTENANCE ELEVATION



**REAR** MAINTENANCE ELEVATION

**LEFT MAINTENANCE ELEVATION** 



FRONT TRASH ELEVATION

**FRONT PAVILION ELEVATION** 

**RIGHT PAVILION ELEVATION** 

**REAR PAVILION ELEVATION** 

**LEFT PAVILION ELEVATION** 



**LEFT** TRASH ELEVATION



# FRONT RETAINING WALL

BUILDING 2 8'-0" WALL BUILDING 8 6'-0" WALL BUILDING 9 6'-0" WALL BUILDING 10 6'-0" WALL

FRONT APARTMENT BUILDING RETAINING ELEVATION



# **REAR RETAINING WALL**

BUILDING 1 8'-0" WALL BUILDING 2 2'-0" WALL BUILDING 3 3'-0" WALL BUILDING 4 2'-0" WALL BUILDING 5 4'-0" WALL BUILDING 6 5'-0" WALL BUILDING 7 2'-0" WALL

**REAR** APARTMENT BUILDING RETAINING ELEVATION

