

BUILDING DESIGN:

ARCHITECTURAL FEATURES:

LARGE, UNADORNED AND MONOLITHIC BUILDING FACES AND WALLS SHALL BE PROHIBITED. MULTIPLE ARCHITECTURAL AND TRIM COMPONENTS INCLUDING CHANGES IN COLOR, TEXTURE, MATERIAL AND PLANE BY USING A REVEAL, OFFSET OR PROJECTING RIS SHALL BE INCORPORATED INTO THE BUILDING DESIGN. CORNER LOCATIONS SHALL BE CONSIDERED OPPORTUNITIES FOR DISTINCTIVE DESIGN ON EACH FRONTAGE.

ARCHITECTURAL FEATURES INCLUDE CHANGE IN COLOR AND MATERIAL THROUGHOUT TO ENHANCE BUILDING MASS, PROVIDED REVEALS THROUGH SCORE JOINTS AND TEXTURE FOR ACCENTS.

ROOFLINES:

VARIATIONS IN ROOFLINE ACCOMPLISHED BY VARYING THE BUILDING'S MASS IN HEIGHT AND WIDTH SO IT APPEARS DIVIDED INTO DISTINCT MASSING ELEMENTS THROUGH PROJECTIONS, RECESSES, AND VERTICAL CHANGES IN ROOF EDGES AND SLOPES. LENGTHY ROOFS WITH SOME TRANSITION BUT APPEARING TO BE FLAT SHALL NOT BE PERMITTED. ROOFTOP OR GROUND MECHANICAL EQUIPMENT SHALL BE CONSIDERED IN THE INITIAL STAGE OF DESIGN AND SHALL BE SCREENED THROUGH INCORPORATION INTO THE ARCHITECTURAL FORM AND LAYOUT OF THE BUILDING.

BUILDING MASS IS ARTICULATED THROUGH THE VARYING HEIGHTS OF THE VERTICAL PARAPETS AND THROUGH PROJECTIONS AND RECESSED FORMS ALONG THE FACADE, INCLUDING THE SLOPE ROOF SHINGLE.

ROOF TYPES:

ALL ROOF TYPES ARE ALLOWED. THE USE OF GABLE ROOFS, CROSS GABLE ROOFS, AND DORMERS ARE ENCOURAGED FOR BUILDINGS OF TWO STORIES OR LESS. FLAT ROOFS SHALL PROVIDE HORIZONTAL ARTICULATION WITH A BUILDING CAP AT THE TOP OF THE BUILDING BASE AND/OR INCORPORATE THE USE OF PARAPETS.

PARAPETS PROVIDED WITH HORIZONTAL ARTICULATION AND ADORNED WITH BUILDING CAPS AND DECORATED CORNICES. SHINGLE ROOF COMBINATIONS 6/12 AND 9/12 SLOPE.

MATERIALS AND COLORS:

BUILDING FACADES SHALL BE COMPOSED OF NATURAL MATERIALS SUCH AS BRICK, STONE OR WOOD SIDING OR HIGH-QUALITY, MAN MADE MATERIALS SUCH AS STUCCO AND TINTED OR TEXTURED CONCRETE MASONRY. THE USE OF VINYL SIDING MAY NOT COMPOSE MORE THAN 20 PERCENT OF ANY FACADE. PRIMARY COLORS SHALL BE NATURAL, SUBDUED EARTH TONES WHILE ACCENT COLORS MAY BE APPLIED TO ARCHITECTURAL DESIGN ELEMENTS. THE FOLLOWING MATERIALS ARE PROHIBITED: CORRUGATED METAL, STANDING SEAM, OR V-CRIMP METAL SHEETING EXTERIOR WALLS OR WALL COVERINGS. THE MATERIALS USED ON THE STREET-FACING FACADES MUST RETURN AROUND EXTERIOR CORNERS AND TERMINATE ONLY AT AN INTERNAL CORNER (OR A MINIMUM OF 6 FEET FROM THE PRINCIPAL FACADE).



PAINT (P1)  
SW 7004  
SNOWBOUND



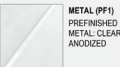
PAINT (P2)  
SW 7018  
DOVETAIL



PAINT (P3)  
SW 7015  
REPOSE GRAY



PAINT (P4)  
SW 1075  
DEER FOREST BROWN



METAL (PF1)  
PREFINISHED  
METAL, CLEAR  
ANODIZED



STONE (SV1)  
WHITECAP  
LEDEGUT 33  
EL DORADO

TRANSPARENCY:

ADJACENT TO STREETS, SIDEWALKS, AND PUBLICLY ACCESSIBLE PARKING AREAS -

NON-RESIDENTIAL BUILDINGS SHALL PROVIDE A MINIMUM FACADE TRANSPARENCY OF 50 PERCENT AT PEDESTRIAN LEVEL (BETWEEN TWO AND EIGHT FEET ABOVE FFE ELEVATION).

RESIDENTIAL BUILDINGS SHALL PROVIDE A MINIMUM FACADE TRANSPARENCY OF 25 PERCENT AT PEDESTRIAN LEVEL (BETWEEN TWO AND EIGHT FEET ABOVE FFE ELEVATION).

APARTMENT BUILDING: 27%(266 SF) OF GLAZING(TRANSPARENCY) PROVIDED  
1,000 SF FACADE AREA(BETWEEN 2'-8" ABOVE FFE ELEVATION)  
DIVIDED BY 4(25%) = 250 SF REQUIRED



FRONT APARTMENT BUILDING ELEVATION

\*TRANSPARENCY CALCULATIONS ARE BASED OFF 2 TO 8 FEET ABOVE FFE ELEVATION



LEFT APARTMENT BUILDING ELEVATION



RIGHT APARTMENT BUILDING ELEVATION



REAR APARTMENT BUILDING ELEVATION

\*TRANSPARENCY CALCULATIONS ARE BASED OFF 2 TO 8 FEET ABOVE FFE ELEVATION



FRONT CLUBHOUSE ELEVATION



RIGHT CLUBHOUSE ELEVATION



REAR CLUBHOUSE ELEVATION



LEFT CLUBHOUSE ELEVATION

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LARGE, UNADORNED AND MONOLITHIC BUILDING FACES AND WALLS SHALL BE PROHIBITED. MULTIPLE ARCHITECTURAL AND TRIM COMPONENTS INCLUDING CHANGES IN COLOR, TEXTURE, MATERIAL AND PLANE BY USING A REVEAL, OFFSET OR PROJECTING RIB SHALL BE INCORPORATED INTO THE BUILDING DESIGN. CORNER LOCATIONS SHALL BE CONSIDERED OPPORTUNITIES FOR DISTINCTIVE DESIGN ON EACH FRONTAGE.

ARCHITECTURAL FEATURES INCLUDE CHANGE IN COLOR AND MATERIAL THROUGHOUT TO ENHANCE BUILDING MASS, PROVIDED REVEALS THROUGH SCORE JOINTS AND TEXTURE FOR ACCENTS.

**ROOFLINES:**

VARIATIONS IN ROOFLINE ACCOMPLISHED BY VARYING THE BUILDING'S MASS IN HEIGHT AND WIDTH SO IT APPEARS DIVIDED INTO DISTINCT MASSING ELEMENTS THROUGH PROJECTIONS, RECESSES, AND VERTICAL CHANGES IN ROOF EDGES AND SLOPES. LENGTHY ROOFS WITH SOME TRANSITION BUT APPEARING TO BE FLAT SHALL NOT BE PERMITTED. ROOFTOP OR GROUND MECHANICAL EQUIPMENT SHALL BE CONSIDERED IN THE INITIAL STAGE OF DESIGN AND SHALL BE SCREENED THROUGH INCORPORATION INTO THE ARCHITECTURAL FORM AND LAYOUT OF THE BUILDING.

BUILDING MASS IS ARTICULATED THROUGH THE VARYING HEIGHTS OF THE VERTICAL PARAPETS AND THROUGH PROJECTIONS AND RECESSED FORMS ALONG THE FACADE, INCLUDING THE SLOPE ROOF SHINGLE.

**ROOF TYPES:**

ALL ROOF TYPES ARE ALLOWED. THE USE OF GABLE ROOFS, CROSS GABLE ROOFS, AND DORMERS ARE ENCOURAGED FOR BUILDINGS OF TWO STORIES OR LESS. FLAT ROOFS SHALL PROVIDE HORIZONTAL ARTICULATION WITH A BUILDING CAP AT THE TOP OF THE BUILDING BASE AND/OR INCORPORATE THE USE OF PARAPETS.

PARAPETS PROVIDED WITH HORIZONTAL ARTICULATION AND ADORNED WITH BUILDING CAPS AND DECORATED CORNICES. SHINGLE ROOF COMBINATIONS 6/12 AND 9/12 SLOPE.

**MATERIALS AND COLORS:**

BUILDING FACADES SHALL BE COMPOSED OF NATURAL MATERIALS SUCH AS BRICK, STONE OR WOOD SIDING OR HIGH-QUALITY, MAN MADE MATERIALS SUCH AS STUCCO AND TINTED OR TEXTURED CONCRETE MASONRY. THE USE OF VINYL SIDING MAY NOT COMPRISE MORE THAN 20 PERCENT OF ANY FACADE. PRIMARY COLORS SHALL BE NATURAL, SUBDUED EARTH TONES WHILE ACCENT COLORS MAY BE APPLIED TO ARCHITECTURAL DESIGN ELEMENTS. THE FOLLOWING MATERIALS ARE PROHIBITED: CORRUGATED METAL, STANDING SEAM, OR V-CRIMP METAL SHEETING EXTERIOR WALLS OR WALL COVERINGS. THE MATERIALS USED ON THE STREET-FACING FACADES MUST RETURN AROUND EXTERIOR CORNERS AND TERMINATE ONLY AT AN INTERNAL CORNER (OR A MINIMUM OF 6 FEET FROM THE PRINCIPAL FACADE).

	<b>PAINT (P1)</b> SW 7004 SNOWBOUND		<b>PAINT (P2)</b> SW 7018 DOVETAIL
	<b>PAINT (P3)</b> SW 7015 REPOSE GRAY		<b>PAINT (P4)</b> SW 1075 DEE FOREST BROWN
	<b>METAL (PF1)</b> PREFINISHED METAL, CLEAR ANODIZED		<b>STONE (SV1)</b> WHITECAP LEDGECUT 33 ELDORADO

**TRANSPARENCY:**

ADJACENT TO STREETS, SIDEWALKS, AND PUBLICLY ACCESSIBLE PARKING AREAS -  
NON-RESIDENTIAL BUILDINGS SHALL PROVIDE A MINIMUM FACADE TRANSPARENCY OF 50 PERCENT AT PEDESTRIAN LEVEL (BETWEEN TWO AND EIGHT FEET ABOVE FFE ELEVATION).  
RESIDENTIAL BUILDINGS SHALL PROVIDE A MINIMUM FACADE TRANSPARENCY OF 25 PERCENT AT PEDESTRIAN LEVEL (BETWEEN TWO AND EIGHT FEET ABOVE FFE ELEVATION).

CLUBHOUSE: (PUBLIC RD.)	52%(449 SF) OF GLAZING(TRANSPARENCY) PROVIDED. 859 SF FACADE AREA(BETWEEN 2'-8" ABOVE FFE ELEVATION) DIVIDED BY 2(50%) = 430 SF REQUIRED
CLUBHOUSE: (BANNERMAN RD.)	50%(202 SF) OF GLAZING(TRANSPARENCY) PROVIDED. 398 SF FACADE AREA(BETWEEN 2'-8" ABOVE FFE ELEVATION) DIVIDED BY 2(50%) = 199 SF REQUIRED



FRONT CARRIAGE ELEVATION



RIGHT CARRIAGE ELEVATION



REAR CARRIAGE ELEVATION



LEFT CARRIAGE ELEVATION

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LARGE UNADORNED AND MONOLITHIC BUILDING FACES AND WALLS SHALL BE PROHIBITED. MULTIPLE ARCHITECTURAL AND TRIM COMPONENTS INCLUDING CHANGES IN COLOR, TEXTURE, MATERIAL AND PLANE BY USING A REVEAL, OFFSET OR PROJECTING RIS SHALL BE INCORPORATED INTO THE BUILDING DESIGN. CORNER LOCATIONS SHALL BE CONSIDERED OPPORTUNITIES FOR DISTINCTIVE DESIGN ON EACH FRONTAGE.

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	<b>PAINT (P1)</b> SW 7004 SNOWBOUND		<b>PAINT (P2)</b> SW 7018 DOVETAIL
	<b>PAINT (P3)</b> SW 7015 REPOSE GRAY		<b>PAINT (P4)</b> SW 7015 DEER FOREST BROWN
	<b>METAL (PF1)</b> PREFINISHED METAL, CLEAR ANODIZED		<b>STONE (SV1)</b> WHITECAP LEDGECUT 33 ELDERADO

**TRANSPARENCY:**

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CARRIAGE: 26% (120 SF) OF GLAZING (TRANSPARENCY) PROVIDED.  
480 SF FACADE AREA BETWEEN 2' 0" ABOVE FFE ELEVATION  
DIVIDED BY 4(25%) = 115 SF REQUIRED

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





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	<b>PAIN (P1)</b> SW 7004 SNOWBOUND		<b>PAIN (P2)</b> SW 7018 DOVETAIL
	<b>PAIN (P3)</b> SW 7015 REPOSE GRAY		<b>PAIN (P4)</b> SW 7075 DEE FOREST BROWN
	<b>METAL (PF1)</b> PREFINISHED METAL, CLEAR ANODIZED		<b>STONE (SV1)</b> WHITECAP LEDGECUT 33 ELDORADO



FRONT GARAGE ELEVATION



LEFT GARAGE ELEVATION



LEFT GARAGE ELEVATION



REAR GARAGE ELEVATION



FRONT MAINTENANCE ELEVATION



LEFT MAINTENANCE ELEVATION



RIGHT MAINTENANCE ELEVATION



REAR MAINTENANCE ELEVATION



FRONT PAVILION ELEVATION



RIGHT PAVILION ELEVATION



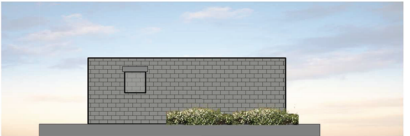
REAR PAVILION ELEVATION



LEFT PAVILION ELEVATION



FRONT TRASH ELEVATION



LEFT TRASH ELEVATION



- FRONT RETAINING WALL**
- BUILDING 2 8'-0" WALL
  - BUILDING 8 6'-0" WALL
  - BUILDING 9 6'-0" WALL
  - BUILDING 10 6'-0" WALL

FRONT APARTMENT BUILDING RETAINING ELEVATION



- REAR RETAINING WALL**
- BUILDING 1 8'-0" WALL
  - BUILDING 2 2'-0" WALL
  - BUILDING 3 3'-0" WALL
  - BUILDING 4 2'-0" WALL
  - BUILDING 5 4'-0" WALL
  - BUILDING 6 5'-0" WALL
  - BUILDING 7 2'-0" WALL

REAR APARTMENT BUILDING RETAINING ELEVATION

 <p>PANT (P1) SW 7004 SNOWBOUND</p>	 <p>PANT (P2) SW 7016 DOVETAIL</p>	 <p>PANT (P3) SW 7015 REPOSE GRAY</p>	 <p>PANT (P4) SW 9175 DEEP FOREST BROWN</p>	 <p>METAL (PF1) PREFINISHED METAL: CLEAR ANODIZED</p>	 <p>STONE (SV1) WHITECAP LEDGERCUT 33 ELDORADO</p>
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