

DEVELOPER
MESA CAPITAL PARTNERS, LLC
3060 PEACHTREE ROAD NW, SUITE 970 ATLANTA, GA 30305 PHONE: 678-904-3223

SURVEYOR
THURMAN RODDENBERRY & ASSOCIATES
125 SHELDON ST
SOPCHOPPY, FL 32358

CML ENGINEER
KIMLEY-HORN AND ASSOCIATES, INC.
2619 CENTENNIAL BLVD., SUITE #200
TALLAHASSEE, FL 32308 PHONE: (850) 553-3500 CONTACT: BRENNON CLAYTON, P.E.

PHONE: (850) 962-2538 CONTACT: MELISSA DAVIS

# TYPE 'C' SITE AND DEVELOPMENT PLAN FDPA TRACK PERMIT SUBMITTAL

**FOR** 

### **CAWTHON MULTI-FAMILY**

LEON COUNTY, FL PROJECT ID: LSP22015

SUBMITTAL DATE: AUGUST 24, 2022 PARCEL ID: 14-08-20-409-000-0

VICINITY MAP

SEC. 8 & 17, TWP. 2N, RNG. 1E

## **UTILITY SUPPLIERS**

**PROJECT TEAM** 

WATER / SANITARY SEWER

CITY OF TALLAHASSEE 2602 JACKSON BLUFF RD. TALLAHASSEE, FL 32304 PHONE: (850) 694-8007 CONTACT: JERRY WALDEN, P.E.

TELECOMMUNICATIONS COMCAST CABLE 3760 HARTSFIELD RD. TALLAHASSEE, FL 32303 PHONE: (850) 574-4060 CONTACT: HAM MCKENNA

TELECOMMUNICATIONS

CENTURY LINK 1325 BLAIRSTONE RD. RM 113 TALLAHASSEE, FL 32301 PHONE: (850) 599-1444 CONTACT: BILL MCCLOUD

CALL 2 WORKING DAYS BEFORE YOU DIG IT'S THE LAW! Call bet

GAS CITY OF TALLAHASSEE 2602 JACKSON BLUFF RD. TALLAHASSEE, FL 32304 PHONE: (850) 891-5135 CONTACT: JIM ABBOTT

PROPERTY OWNER
GOLDEN OAK LAND GROUP, LLC
4708 CAPITAL CIRCLE NW
TALLAHSSEE, FL 32303
PHONE: (850) 514-1000
CONTACT: JASON GHAZVINI

GEOTECHNICAL ENGINEER SOUTHERN EARTH SCIENCES 3642 PEDDIE DRIVE TALLAHASSEE, FLORIDA 32303

PHONE: (850) 576-4652 CONTACT: MARK WLSON, P.E.

POWER
CITY OF TALLAHASSEE POWER - DISTRIBUTION
2602 JACKSON BLUFF RD. 2602 JACKSON BLUFF RD. TALLAHASSEE, FL 32304 PHONE: (850) 891-5019 CONTACT: DEAN McCORMICK, P.E.

TRAFFIC OPERATIONS LEON COUNTY PUBLIC WORKS 2280 MICCOSUKEE RD TALLAHASSEE EL 32308

TYPE C FDPA TRACK SITE PLAN APPROVAL DATE LEON COUNTY PUBLIC WORKS DEPT LEON COUNTY DEPARTMENT OF DEVELOPMENT SUPPORT AND ENVIRONMENTAL MANAGEMENT DATE TALLAHASSEE-LEON COUNTY PLANNING DEPT DATE

PROJECT LOCATION

NORTH PROJECT DATUM NAVD '88

DESIGN STANDARDS:

F.D.O.T. SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2021 F.D.O.T. STANDARD PLANS FOR ROAD CONSTRUCTION, 2021-2022

F.D.O.T. MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN,
CONSTRUCTION AND MAINTENANCE OF STREETS AND HIGHWAYS (GREEN BOOK)

CITY OF TALLAHASSEE STANDARD SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF WATER AND WASTEWATER FACILITIES, CURRENT EDITION

CONTRACTOR NOTICE 2020 (effective December 31, 2020)

The Contractor & Owner will be held accountable during contraction for all site improvements. Compliance will Florids Statutes 53:5041 (FS.), and the 2000 Florids Building Code, Accessibility, "F Edition (FbC-4), mandatury, Honoroundpains at final imperiod, contractor to compliance that all represents contractors will be required to modify construction to contract by F.S. and FBC-A. The following terms take proceedings and supervised order sate details on damning:

1. \*\*Accessible For the Contract Cont

- ACCESSIBLE PARKING spaces shall be located on an accessible route no less than 44" wide so that users will
  not be compelled to walk or wheel behind parked vehicles except behind his or her own vehicle. §209.1 and
  \$502.3 FBC-A and FS. 535,044.
- ACCESSIBLE PARKING spaces and access asides serving a particular building shall be located on the staccessible route from the accessible route from the accessible (H C) parking to an accessible entrance. §208.3.1 FBC-A and F.S. 533-5001(2004)
- ACCESSIBLE PARKING spaces shall be 12' wide, and outlined with blue paint. §502.2 and §502.6, FBC-A
- 3. ACCESSIBLE PACENIO opene patter | 1. mig and continued with the pairs. | 1902. and | 370.6. FECA. ACCESSIBLE PACENIO opene dispute > 1. mig are not dispute to impair | 2002. Bit | 2007. EECA. ACCESSIBLE PACENIO and access asine shall be level up to to cores | 1,200 on a stole, fam & day resistant PACENIO BIT | 1. mig are not as a stole | 1. mig are not as a stole, fam & day resistant PACENIO BIT | 1. mig are not as a stole | 1. mig are not as a stole | 1. mig are not as a stole | 1. mig are not | 1. m
- CURB RAMPS shall have a landing with a minimum clear length of 36" shall be located at the top side of each
  sort samp, a stem width at frest to stake so the code samp (each foliage three sides) lending twis. Exception. for
  alterations, where there is no landing, creb samp flares shall be provided, and shall not be steeper than 1:12 slope.
  Re: 43405 TBC-A.
- ALL RAMPS with a rise greater than 6° shall provide edge protection complying shall have 60° min level landings at the top & bottom. Re: §405.7. FBC-A.
- ALL RAMPS with a rise greater than 6° shall have handrails on both sides with 12" horizontal extension
  top & bottom of the stup. Re. § 1010.9 FBC-B (Florida Building Code Building) and § 305.10 FBC-A.
- top or notion of the steep. See 3/1919/9 Eds. 49 Johns a fluxibility Code Binking and 3/1911/1918 (2011) 1918 (1) ACCESSMEE for DUTTE to 1 unit entropy. Of form an executively grape of an other policies (see ), should not exceed 1.20 slope (males names, handrails with proper estenation are provided) with cross slope and mercess of 1.14 Re 2/196 (2) along a fields). Fig. Co. 1.14 Re 2/196 (2) along a fields). Fig. Co. 1.14 Re 2/196 (2) along a field in Eds.

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C303	SITE PLAN				
C304	SITE PLAN				
C305	ROADWAY TYPICAL SECTIONS				
C306	CIRCULATION PLAN				
C307	CIRCULATION PLAN				
C308	CIRCULATION PLAN				
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C310	SIGHT DISTANCE PLAN				
C311	SIGHT DISTANCE PLAN				
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LS04 TREE DEBITS AND CREDITS					

### LEON COUNTY PERMITS

PERMITTED USE VERIFICATION

VC1900056R

NATURAL FEATURES INVENTORYS

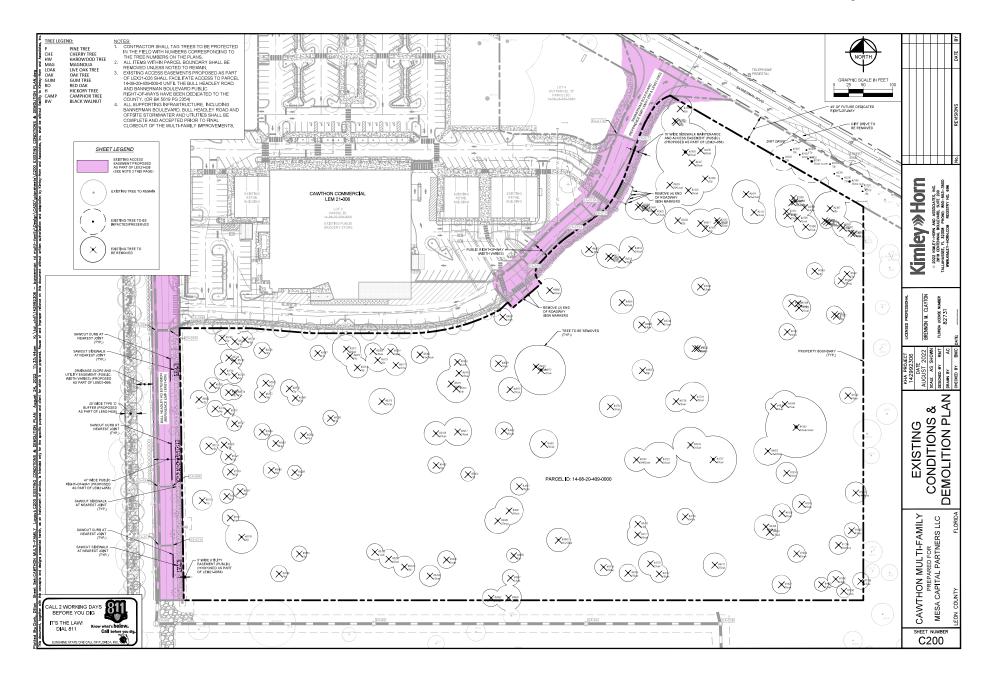
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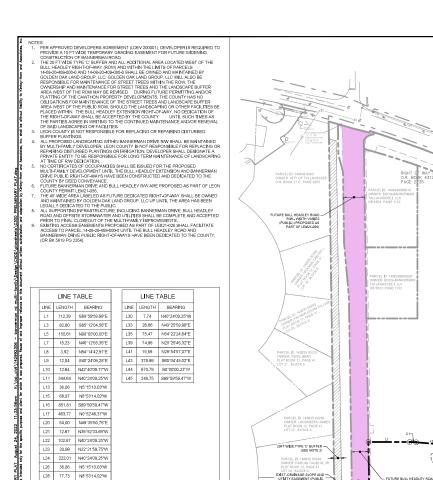
**Kimley** » Horn 2022 KIMLEY-HORN AN 2619 CENTENNAL BOUL LLAHASSEE, FL 32308 F WWKKIMLEY-HORN.COM

BRENNON M. CLAYTON UCENSE 82731

> SHEET COVER

MULTI-FAMILY PREPARED FOR CAPITAL PARTNERS LLC CAWTHON MESA (





L29 56.68 S89°59'59.47"W

C4 183.00' 112.27'

C7 272.00' 17.25'

C10 197.50' 37.71'

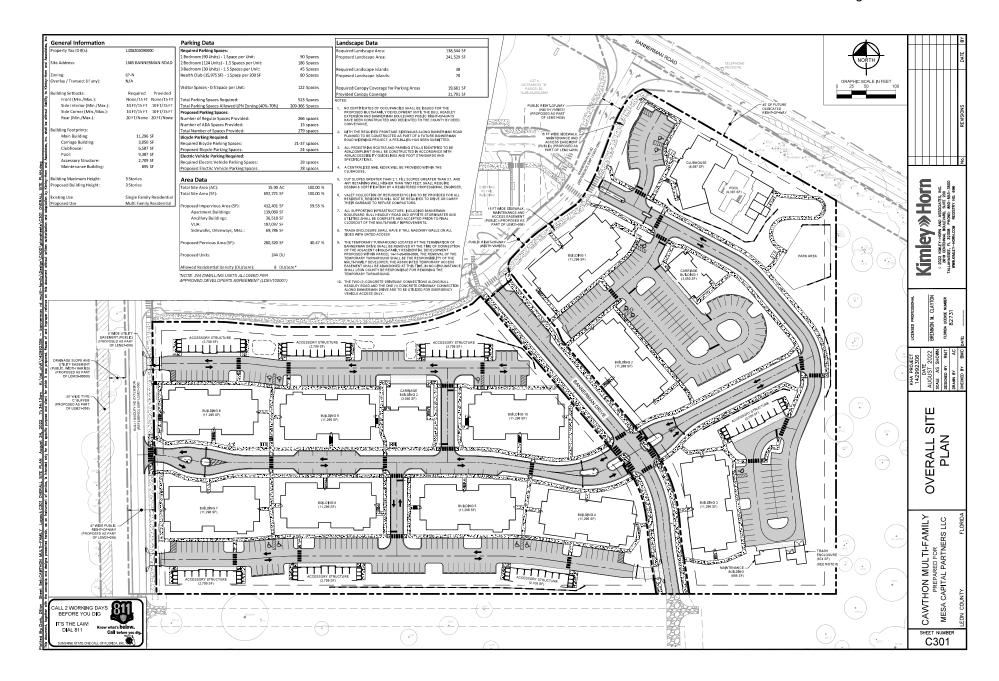
CURVE TABLE CURVE RADIUS LENGTH CHORD BEARING CHORD DELTA TANGENT C1 214,00° 17,92° \$87°36°02°E 17,92° 4°47'55° 8,97° C2 286,00° 23,95° \$87°36°02°E 23,95° 4°47'55° 11,98° C3 336.00' 164.80' N75"56'57"E 163.15' 28"06'07" 84.09'

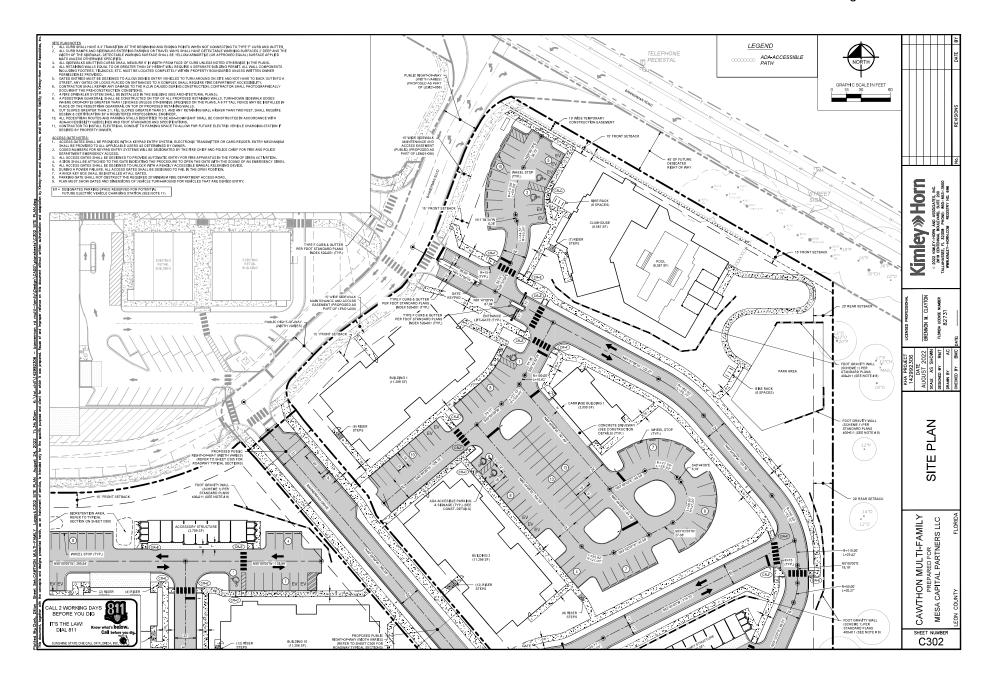
CB 20.00' 29.52' N1"53"05"E 28.91' 84"34"29" 18.19' C9 313.50' 4.04' N43°48'10"E 4.04' 0"44'19" 2.02'

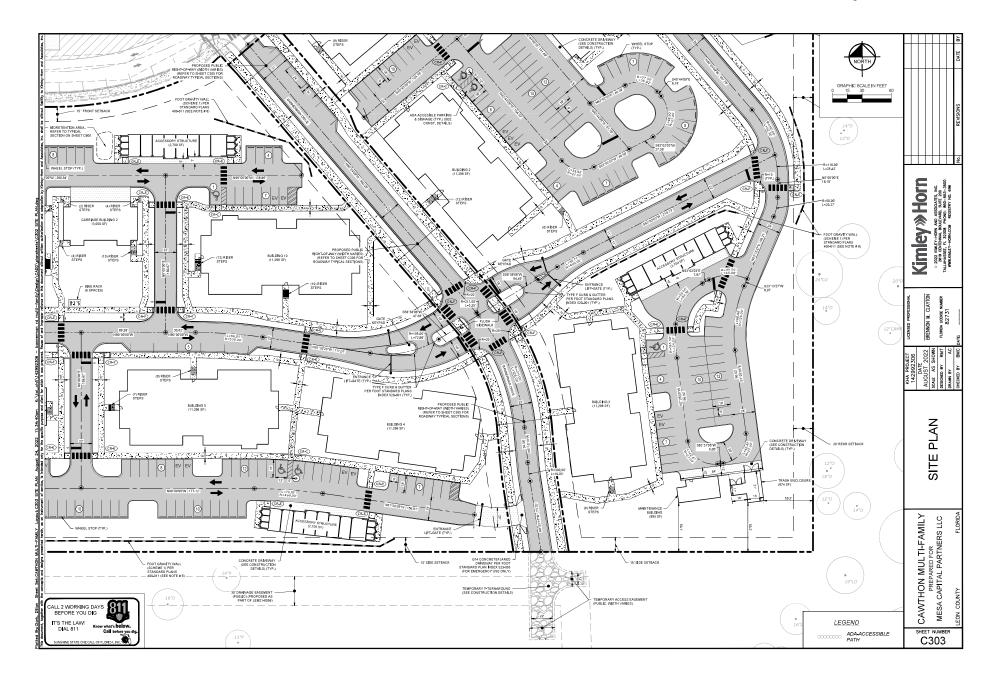
N22"49'40"W 110.51' 35"08'59" C5 328.00' 20.81' N7°04'12'W 20.80' 3'38'04" 10.41' C6 239.00' 146.62' N22'49'40"W 144.33' 35'08'59" 75.70' N7°04'12'W 17.25' 3'38'04"

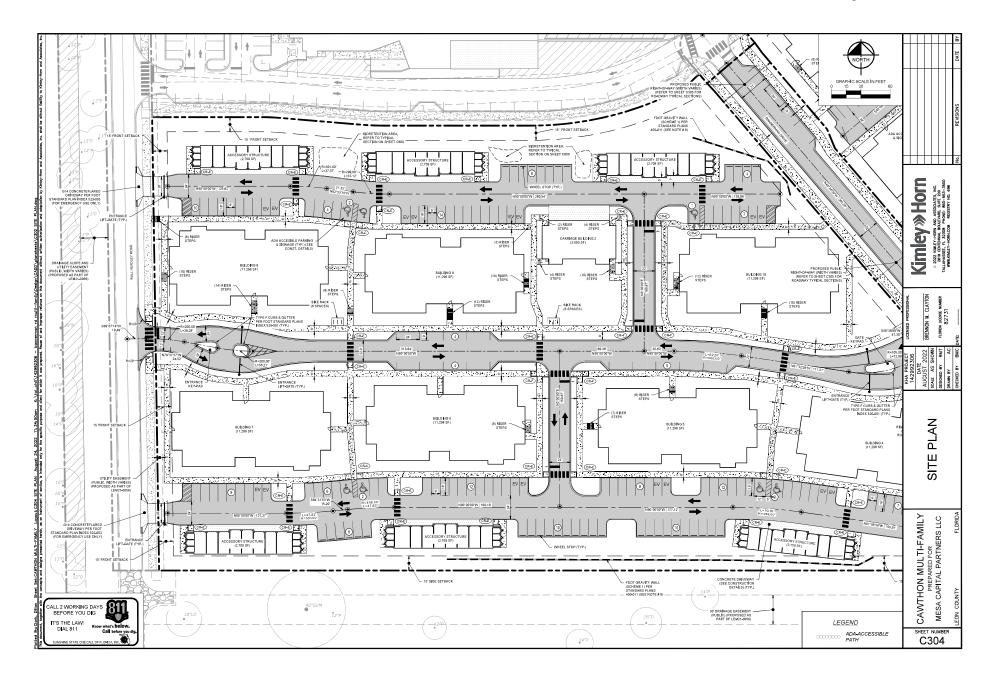
N48°54'12"E 37.65' 10°56'25" C11 174.50' 18.18' N37'01'54"E 18.17' 5'58'13" 9.10' C12 232.50' 24.90' N30'58'40"E 24.89' 6'08'15' 12.46'
C13 232.50' 30.35' N24"10'09"E 30.33' 7'28'47" 15.20' C14 57.50' 41.52' N50"36'05"E 40.62' 41"22'16" 21.71'

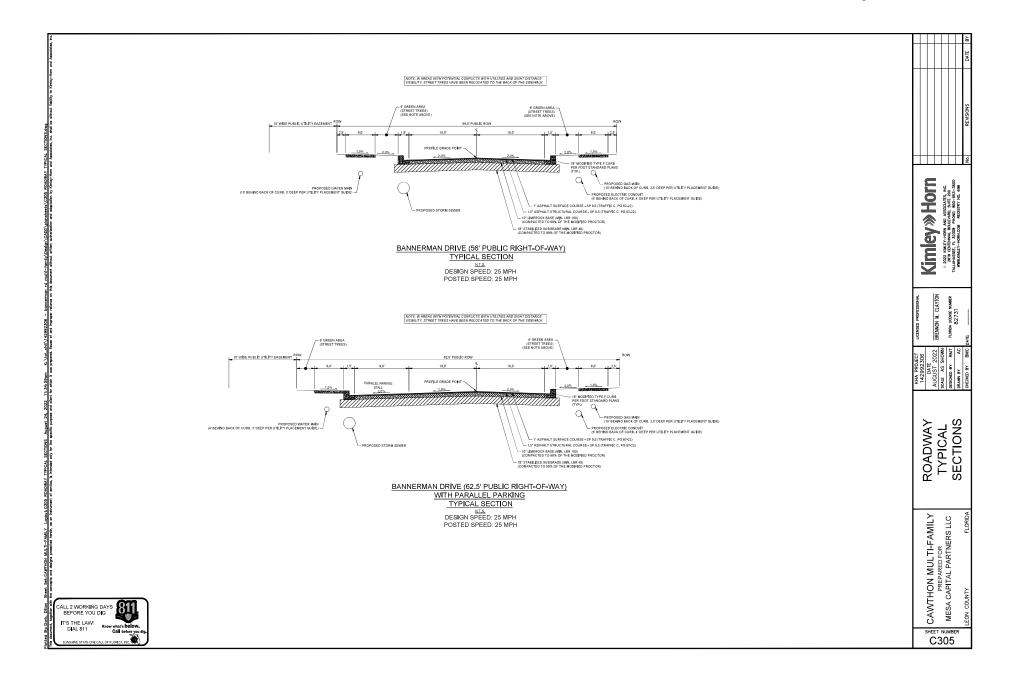
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PACEL D: HORSIGNED  PACEL	AS FOR THUME DEBLATOR WIND PROPERTY OF THE PRO	142.992.06
PARTICIPATION CONTROL MANUFACTOR		PRELIMINARY PLAT
PARCEL ID: HARDS SERVE CONTRET SOURCE SEALER LOT 78 - SLOCK S.  PARCEL ID: HARDS SERVE CONTRET SOURCE SEALER LOT 78 - SLOCK S.  PARCEL ID: HARDS SERVE CONTRET SOURCE SEALER LOT 78 - SLOCK S.  PARCEL ID: HARDS SERVE CONTRET SOURCE SEALER LOT 77 - SLOCK S.  PARCEL ID: HARDS SERVE CONTRET SOURCE SEALER LOT 77 - SLOCK S.  PARCEL ID: HARDS SERVE CONTRET SOURCE SEALER LOT 77 - SLOCK S.  PARCEL ID: HARDS SERVE CONTRET SOURCE SEALER LOT 77 - SLOCK S.  PARCEL ID: HARDS SERVE CONTRET SOURCE SEALER LOT 77 - SLOCK S.  PARCEL ID: HARDS SERVE CONTRET SOURCE SEALER LOT 77 - SLOCK S.  PARCEL ID: HARDS SERVE CONTRET SOURCE SEALER LOT 77 - SLOCK S.  PARCEL ID: HARDS SERVE CONTRET SOURCE SEALER LOT 77 - SLOCK S.  PARCEL ID: HARDS SERVE CONTRET SOURCE SEALER LOT 77 - SLOCK S.  PARCEL ID: HARDS SERVE CONTRET SOURCE SEALER LOT 77 - SLOCK S.  PARCEL ID: HARDS SERVE CONTRET SOURCE SEALER LOT 77 - SLOCK S.  PARCEL ID: HARDS SERVE CONTRET SOURCE SEALER LOT 77 - SLOCK S.  PARCEL ID: HARDS SERVE CONTRET SOURCE SEALER LOT 77 - SLOCK S.  PARCEL ID: HARDS SERVE CONTRET SOURCE SEALER LOT 77 - SLOCK S.  PARCEL ID: HARDS SERVE CONTRET SOURCE SEALER LOT 77 - SLOCK S.  PARCEL ID: HARDS SERVE CONTRET SOURCE SEALER LOT 77 - SLOCK S.  PARCEL ID: HARDS SERVE CONTRET SOURCE SEALER LOT 77 - SLOCK S.  PARCEL ID: HARDS SERVE CONTRET SEALER LOT 77 - SLOCK S.  PARCEL ID: HARDS SERVE CONTRET SEALER LOT 77 - SLOCK S.  PARCEL ID: HARDS SERVE CONTRET SEALER LOT 77 - SLOCK S.  PARCEL ID: HARDS SERVE CONTRET SEALER LOT 77 - SLOCK S.  PARCEL ID: HARDS SERVE CONTRET SEALER LOT 77 - SLOCK S.  PARCEL ID: HARDS SERVE CONTRET SEALER LOT 77 - SLOCK S.  PARCEL ID: HARDS SERVE CONTRET SEALER LOT 77 - SLOCK S.  PARCEL ID: HARDS SERVE CONTRET SEALER LOT 77 - SLOCK S.  PARCEL ID: HARDS SERVE CONTRET SEALER LOT 77 - SLOCK S.  PARCEL ID: HARDS SERVE LOT 77 - SLOCK S.  PARCEL ID: HARDS SEALER LOT 77 - SLOCK S.  PARCEL ID: HARDS SERVE LOT 77 - SLOCK S.  PARCEL ID: HARDS SERVE LOT 77 - SLOCK S.  PARCEL ID: HARDS SERVE LOT 77 - SLOCK S.  PARCEL ID: HARDS SERVE LOT 77 - SLOCK S.	<b>.</b>	CAWTHON MULTI-FAMILY OCTO OCTO MEDARED FOR MESA CAPITAL PARTNERS LLC LEON COUNTY FLORIDA

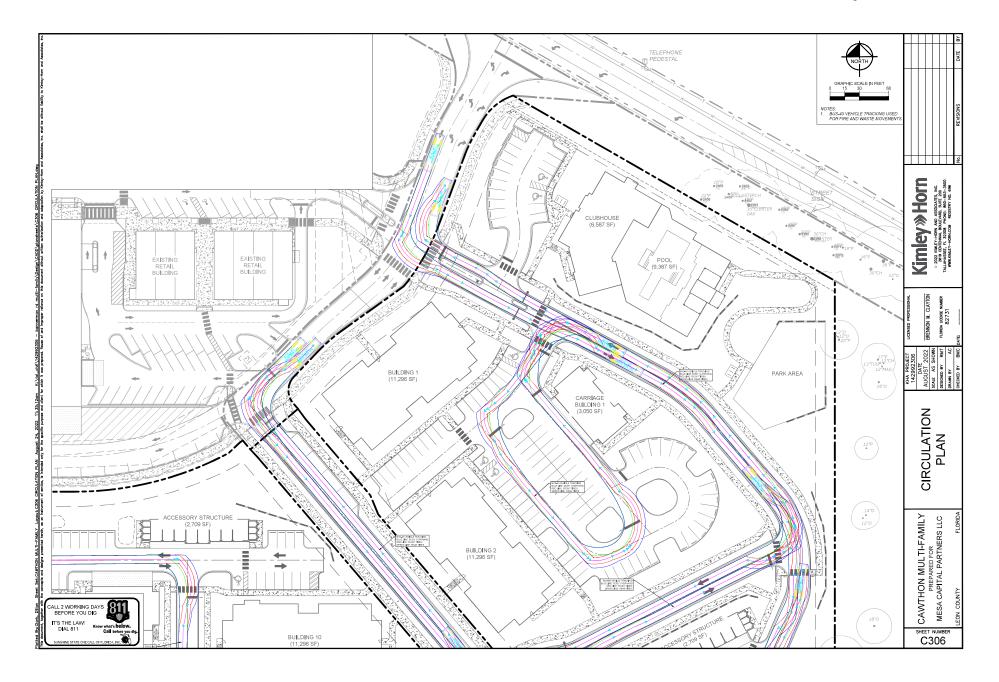


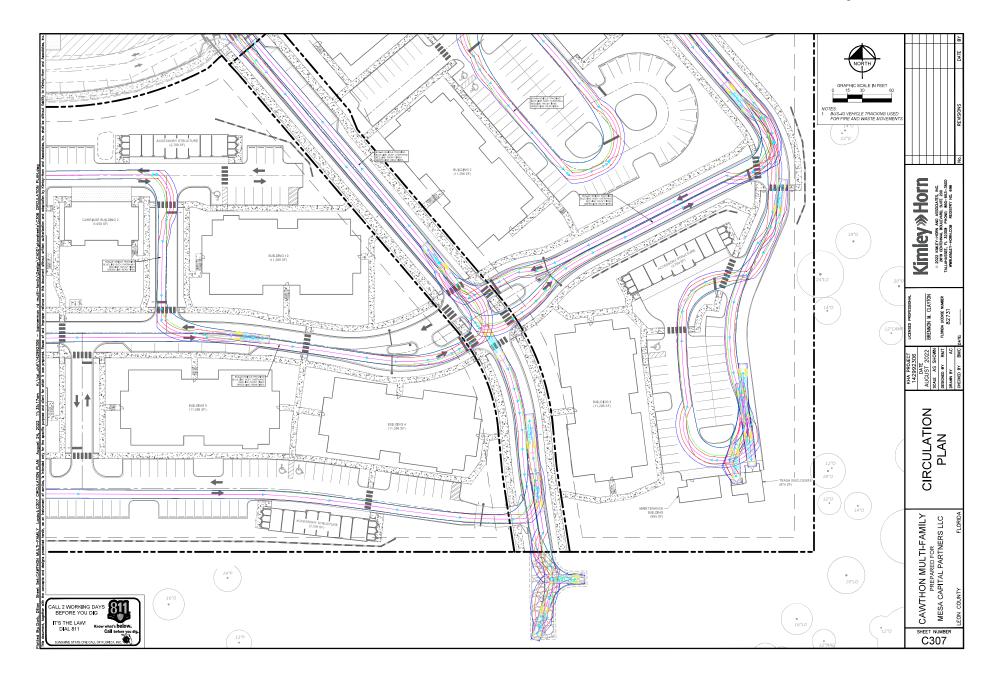


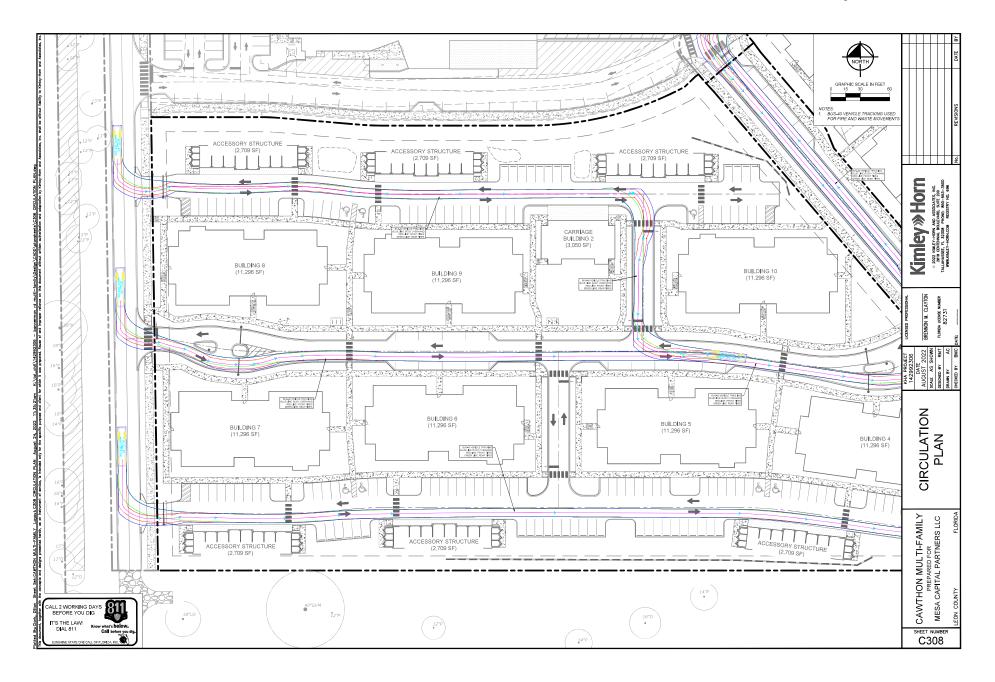


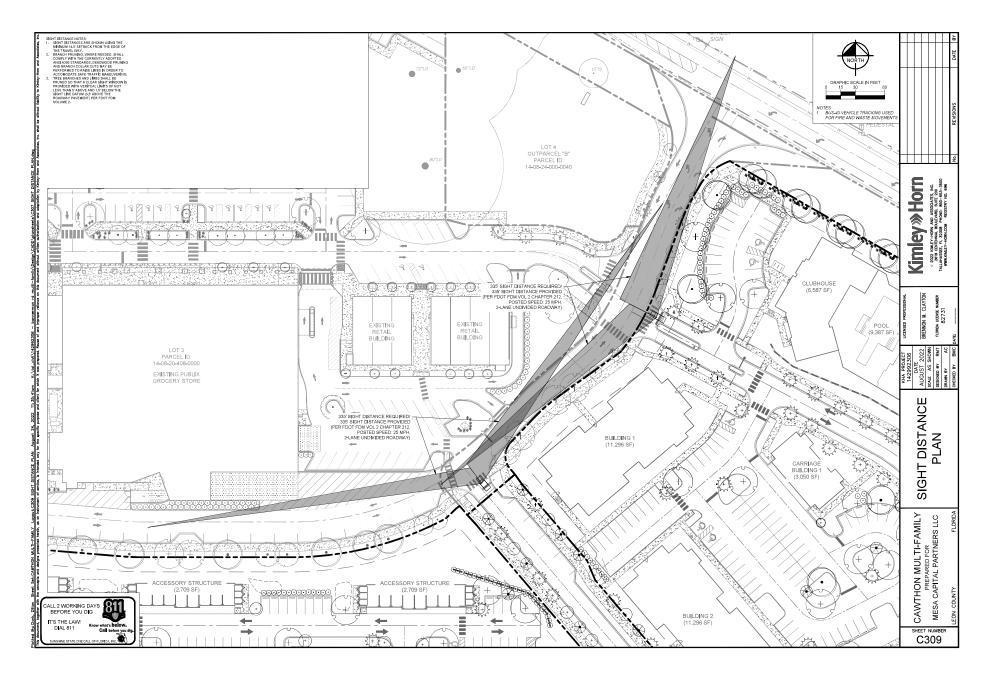


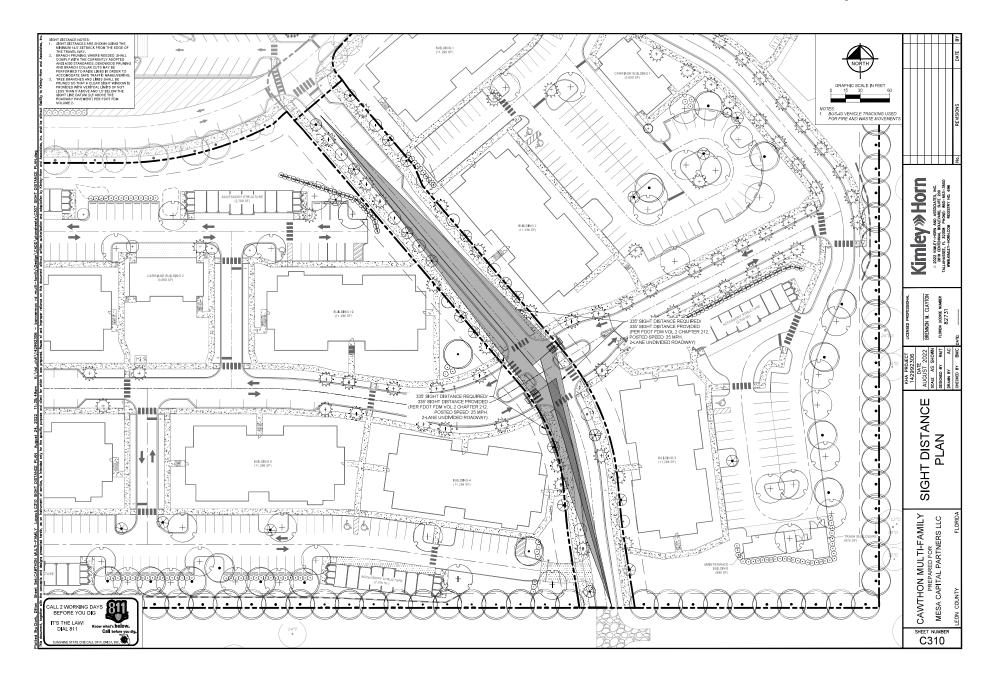


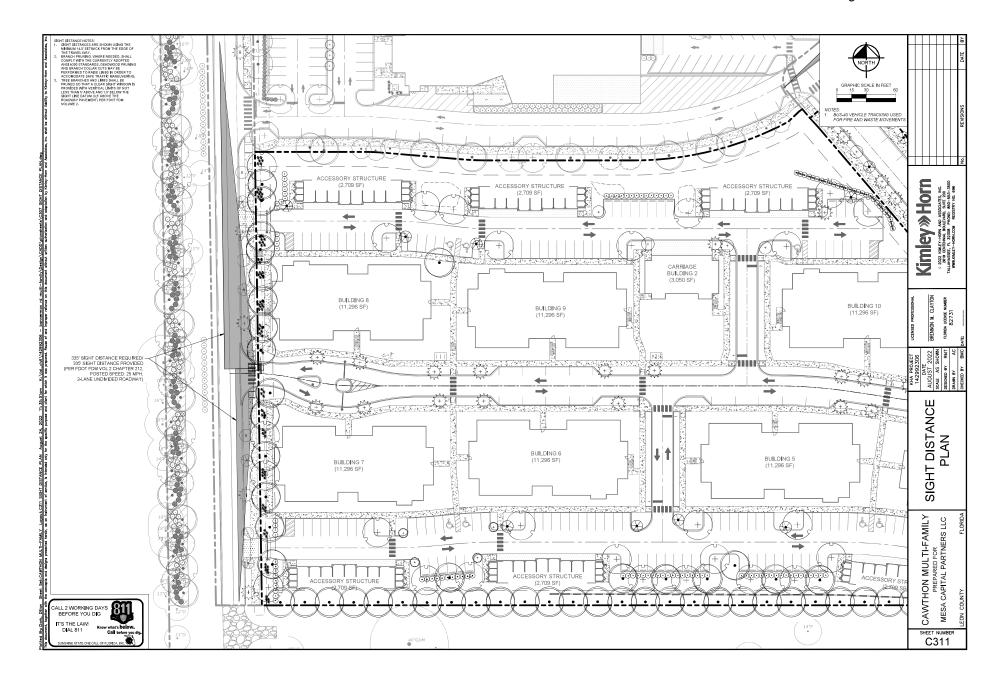


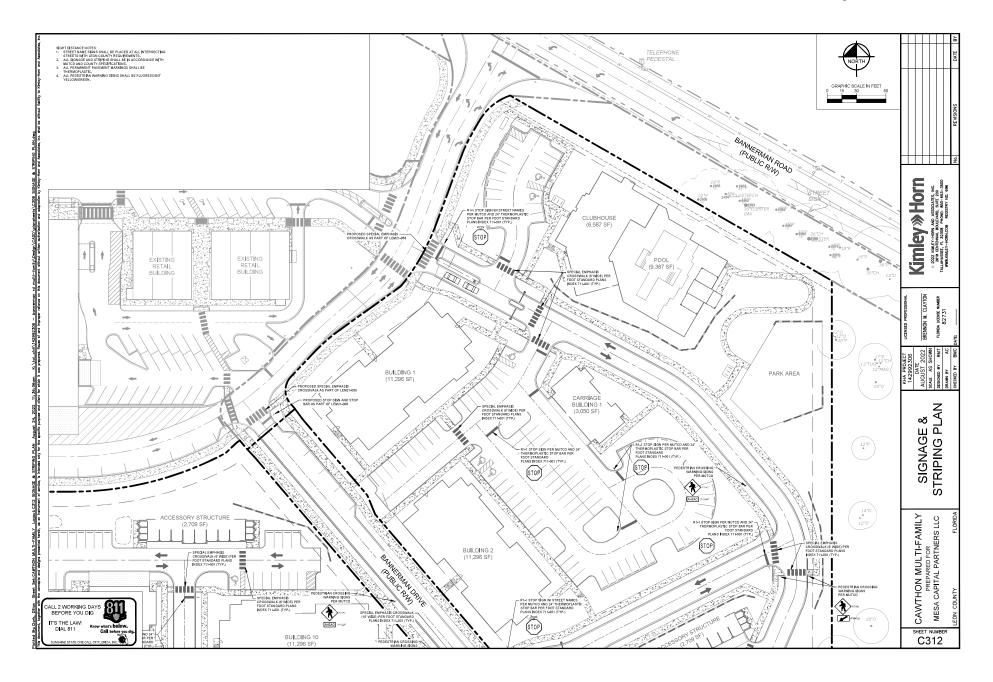


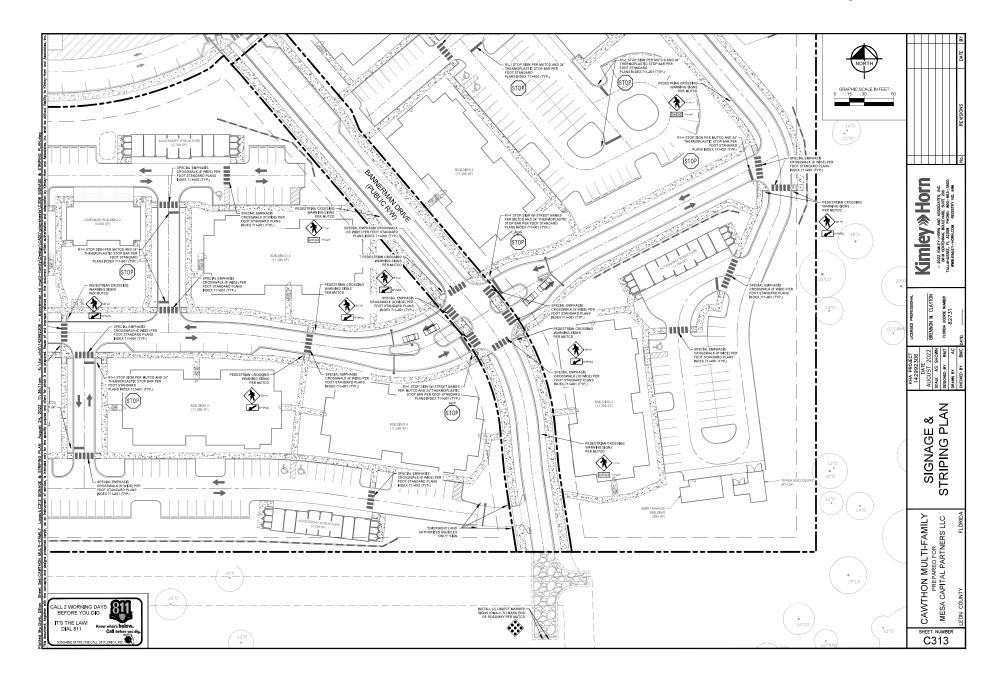


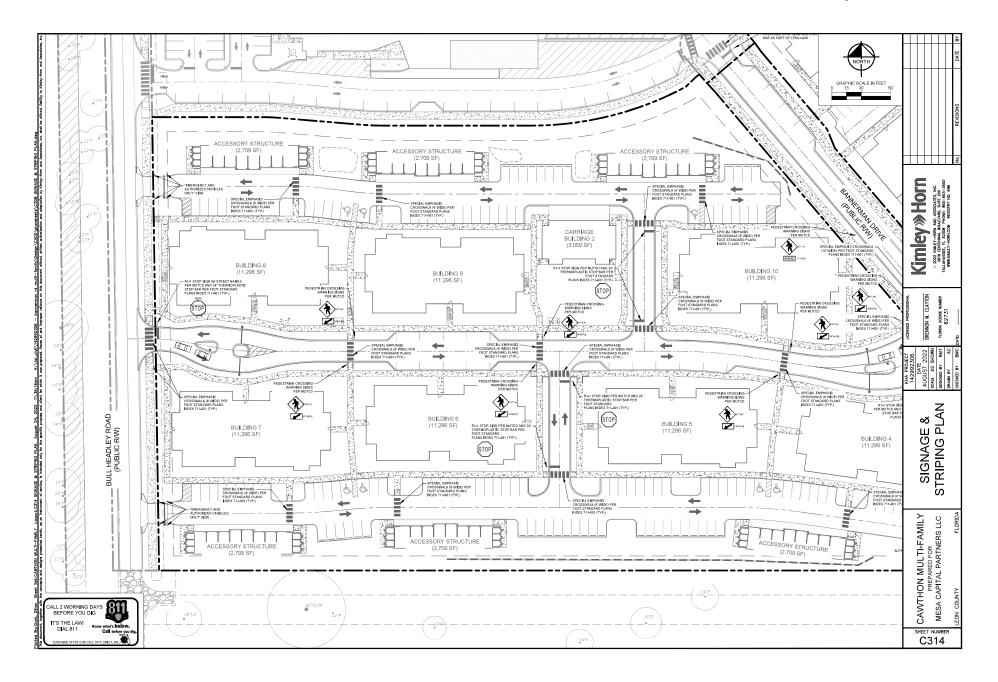


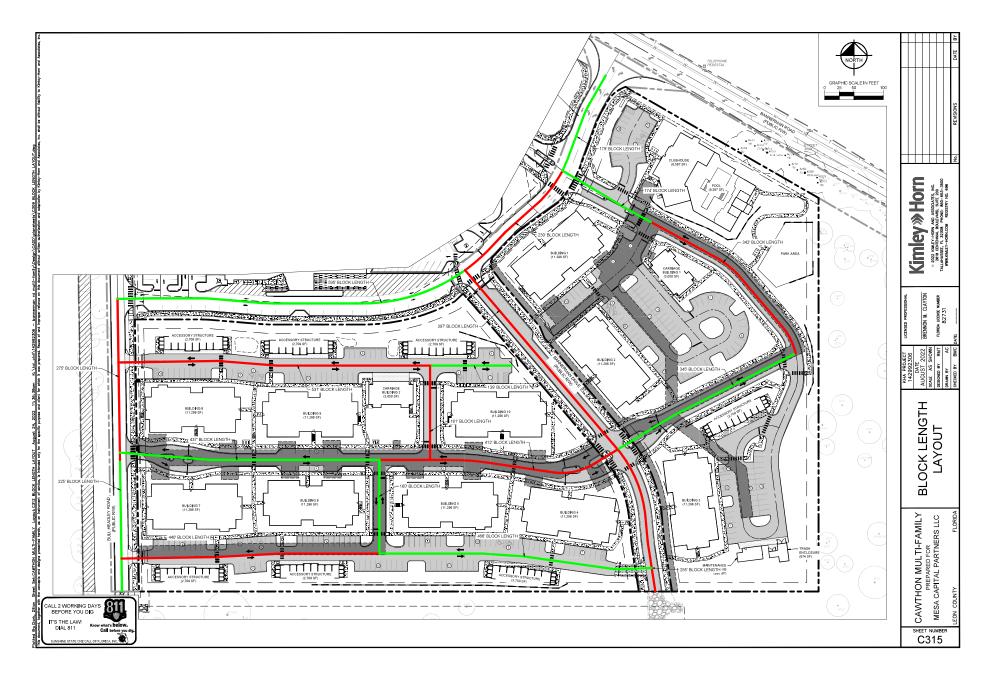


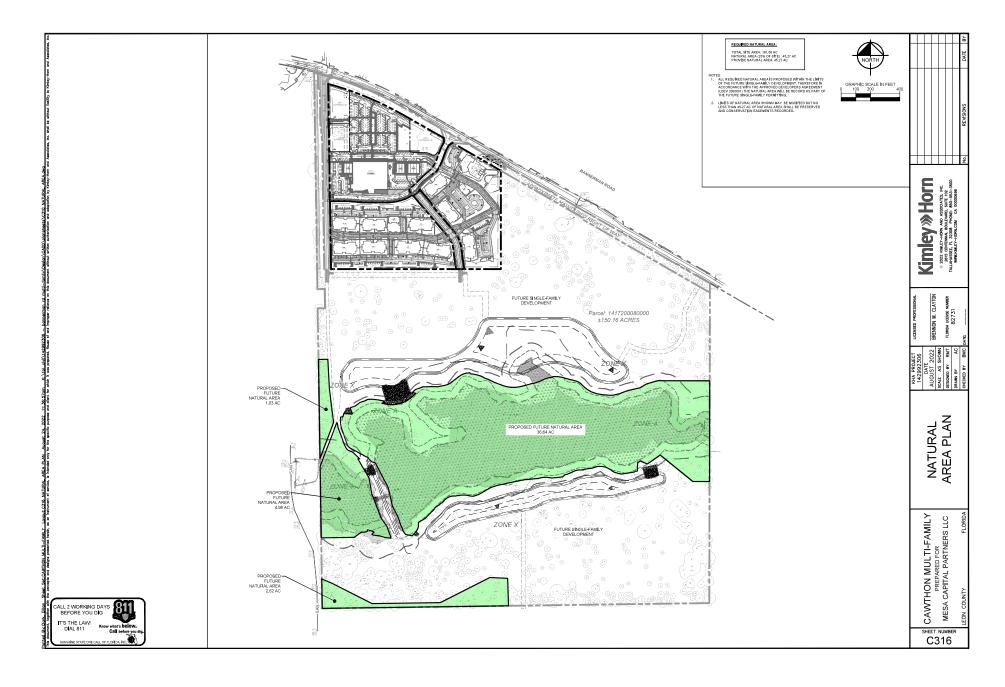


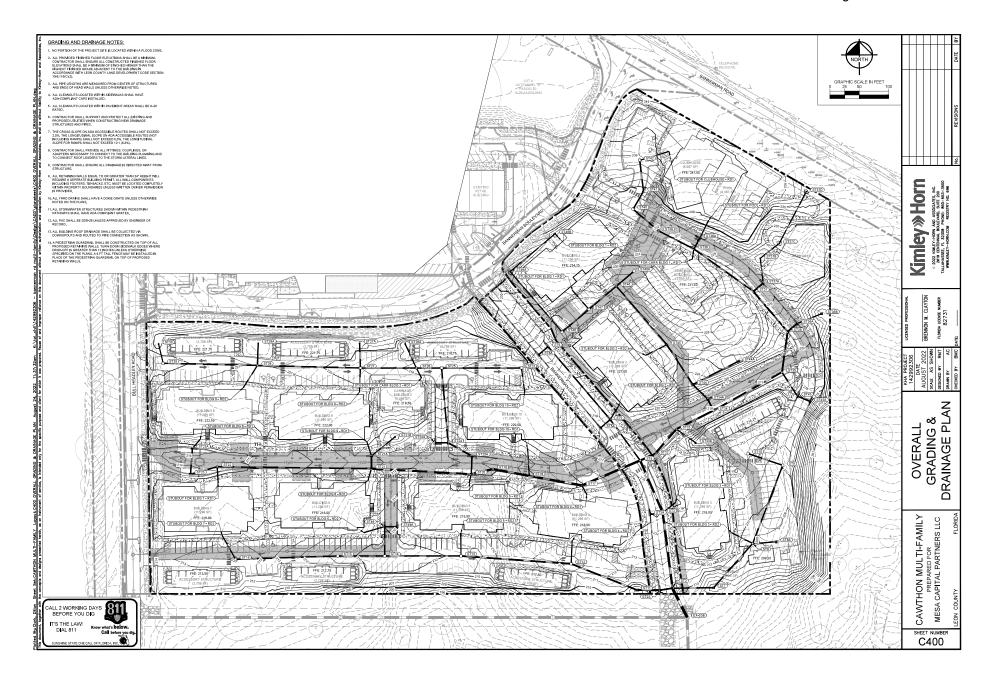


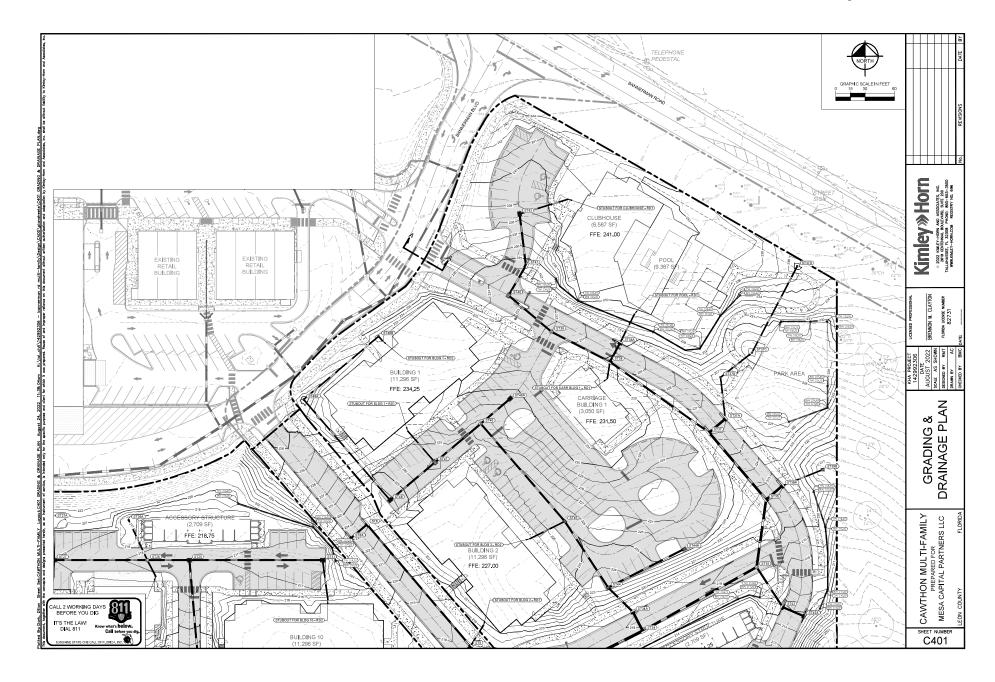


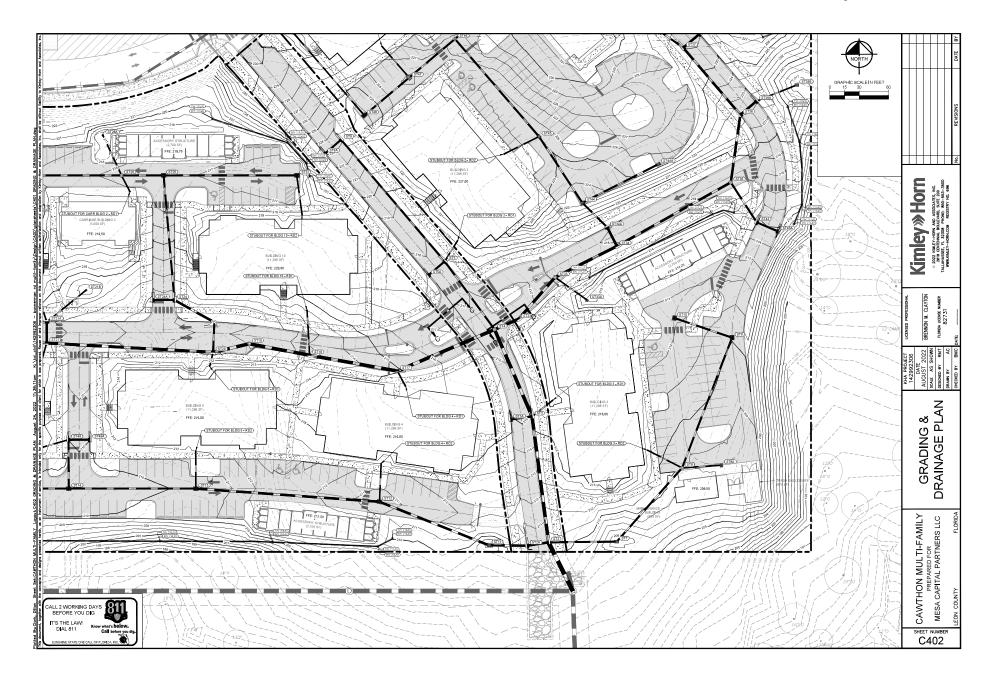


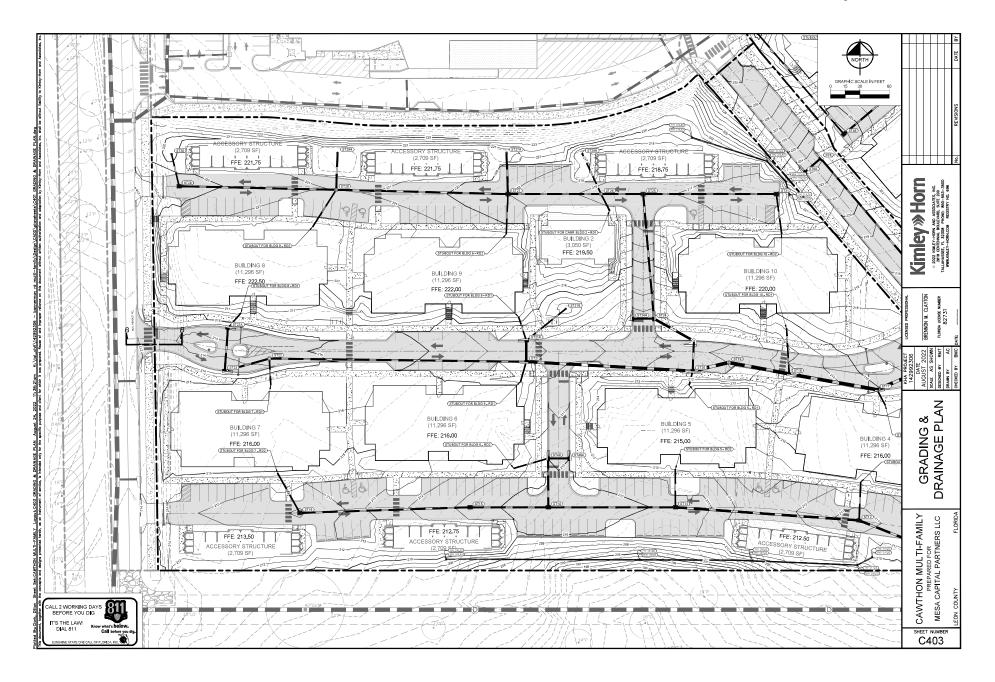


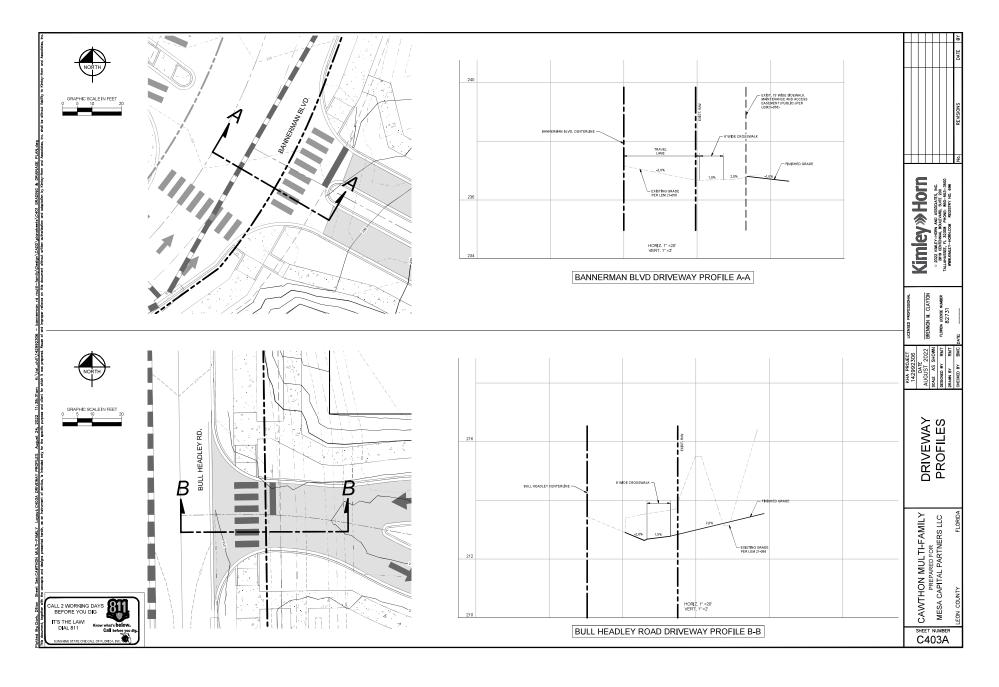














-		STRUCTURE TABLE					STRUCTURE TABLE				
STRUCTURE NAME:	DETAILS:	PIPES IN:	PIPES OUT	STRUC	CTURE NAME:	DETAILS:	PIPES IN:	PIPES OUT	Ш		
EX-S3B	CONNECT TO EXISTING MANHOLE RIM: 195.85 INV IN: 189.50	FROM ST2, 48" HP STORM PP INV IN: 189,50 @ 9.89% (NW)	EXISTING 48" HP STORM PP INV OUT: 185.50 (S) PER APPROVED EMP PERMIT (LEM 21-058) STORMWATER IS ROUTED TO EXISTING SWMF		ST16	TYPE 'V' INLET RIM: 211.88 INVIN: 206.75 INV OUT: 206.75	FROM STUBOUT FOR BLDG 7 - RD2, 12" HP STORM PP INV IN. 206.75 @ 3.76% (NW)	TO ST15, 18" HP STORM PP INV OUT: 206.75 @ 0.72% (E)		Ш	
ST2	CURB INLET TYPE '5' - L RIM: 210.59 INV IN: 199.65 INV IN: 199.65 INV IN: 199.65 INV OUT: 195.00	FROM ST2A, 2d* HP STORM PP INV IN: 189.65 @ 3.91% (W) FROM ST3, 3d* HP STORM PP INV IN: 189.65 @ 1.32% (N) FROM ST7, 16* HP STORM PP INV IN: 189.65 @ 0.50% (E)	TO EX-S3B, 48" HIP STORM PP INV OUT: 195.00 @ 9.89% (SE)		ST17	CURB INLET TYPE '5' - L RIM: 214.88 INV IN: 203.19 INV IN: 203.19 INV OUT: 203.19	FROM STL8, 38" HP STORM PP IN-/ IN- 203.19 @ 0.50% (W) FROM STUBOUT FOR BLDG 4 - RD1, 12" HP STORM PP IN-VIN- 203.19 @ 32.46% (SE)	TO ST4, 36' HP STORM PP INV OUT: 203.19 @ 0.50% (NE)			
	CURB INLET TYPE '5' - R RIM: 210.59 INV IN: 201.61 INV OUT: 201.61	FROM ST11, 24" INV IN: 201.61 @ 0.50% (W)	TO ST2, 24" HP STORM PP INV OUT: 201.61 @ 8.91% (E)		ST18	CURB INLET TYPE '5' - L RIM: 212.65 INV IN: 203.65 INV IN: 203.65 INV OUT: 203.65	FROM STUBOUT FOR BLDG 10 - RD1, 12" HP STORM PP INV IN: 203.65 @ 9.34% (N) FROM ST19, 36" HP STORM PP INV IN: 203.65 @ 0.50% (W)	TO ST17, 36" HP STORM PP (NV OUT: 203.65 @ 0.50% (E)			
ST3	CURB INLET TYPE '5' - L RIM: 215.34 INV IN: 209.89 INV IN: 201.37 INV IN: 206.73 INV OUT: 201.37	FROM ST34, 18" HP STORM PP INV IN: 208,89 @ 0.50% (W) FROM ST4, 36" HP STORM PP INV IN: 201,37 @ 1,32% (NW) FROM STUBOUT FOR BLDG 3 - RD1, 12" HP STORM PP INV IN: 200,73 @ 1,00% (NE)	TO ST2, 36" HP STORM PP INV OUT: 201.37 @ 1.32% (S)		ST19	STORM MANHOLE RIM: 211.15 INV IN: 203.96 INV OUT: 203.96 CURB INLET TYPE '6'	FROM ST20, 36" HP STORM PP INV IN: 203,96 @ 0.51% (W)	TO ST18, 36" HP STORM PP INV OUT: 203,96 @ 0,50% (E)	H	Ш	
ST3A	CURB INLET TYPE '5' - R RIM: 215.34 INV OUT: 210.00		TO ST3, 18" HP STORM PP INV OUT: 210,00 @ 0.50% (E)		ST20	RIM: 210.46 INVIN: 204.16 INVIN: 204.16 INVIN: 204.16 INV OUT: 204.16	FROM ST21, 30" HP STORM PP INV IN: 204.16 @ 1.51% (W) FROM STUBOUT FOR BLDG 5 - RD1, 12" HP STORM PP INV IN: 204.16 @ 12.29% (S) FROM ST20A, 16" HP STORM PP INV IN: 204.16 @ 0.50% (N)	TO ST19, 36" HP STORM PP INV OUT: 204.16 @ 0.51% (E)	1	E	200 -553-3500 NO. 696
ST4	STORM MANHOLE RIM: 216.39 INV IN: 211.00 INV IN: 202.65 INV IN: 207.70 INV OUT: 202.65	FROM ST5, 18" HP STORM PP INV IN: 211.00 @ 2.19% (NW) FROM ST17, 36" HP STORM PP INV IN: 202.65 @ 0.50% (SW) FROM ST32, 30" HP STORM PP INV IN: 207.70 @ 0.50% (NE)	TO ST3, 36" HP STORM PP INV OUT: 202.65 @ 1.32% (SE)		ST20A	CURB INLET TYPE '6' RIM: 210.64 INV IN: 204.31 INV OUT: 204.31	FROM ST24, 24" HP STORM PP INV IN: 204.31 @ 3.61% (NW)	TO ST20, 18" HP STORM PP INV OUT: 204.31 @ 0.50% (S)	1	Ĭ	IOULEVARD, SUITE 200 1 PHONE: 850–553–3500 3M REGISTRY NO. 696
ST5	CURB INLET TYPE '5' - L RIM: 217.97 INV IN: 212.69 INV IN: 212.69 INV IN: 212.89 INV IN: 212.89	FROM ST5A, 18" HP STORM PP INV IN: 212.89 @ 0.50% (SW) FROM ST6, 18" HP STORM PP INVIN: 212.89 @ 3.37% (NW) FROM STUBOUT FOR BLDG 2 - RD1, 12" HP STORM PP INV IN: 212.89 @ 0.50% (NE)	TO ST4, 18" HP STORM PP INV OUT: 212.89 @ 2.19% (SE)		ST21	CURB INLET TYPE '5' - R RIM: 213.04 INV IN: 206.73 INV IN: 206.73 INV IN: 206.73 INV OUT: 206.73	FROM ST21.4, 24" HP STORM PP INV IN: 206.73 @ 0.50% (N) FROM ST22, 18" HP STORM PP INV IN: 206.73 @ 0.50% (W) FROM STUBOUT FOR BLDG 6 - RD1, 12" HP STORM PP INV IN: 206.73 @ 3.62% (S)	TO ST20, 30" HP STORM PP INV OUT: 206.73 @ 1.51% (E)		Kimley» Horn	TALLAHASSEE, FL 32308 P WWW.KIMLEY-HORN.COM
ST5A	CURB INLET TYPE '5' - R RIM: 217.97 INV OUT: 213.00		TO ST5, 18" HP STORM PP INV OUT: 213,00 @ 0,50% (NE)		ST21A	CURB INLET TYPE '5' - L RIM: 213.04 INV IN: 206.84 INV IN: 206.84 INV OUT: 206.84	FROM ST218, 12" HP STORM PP INV IN: 206.84 @ -0.65% (NE) FROM STUBOUT FOR BLDG 9 - RD1, 12" HP STORM PP INV IN: 206.84 @ 28.05% (N)	TO ST21, 24" HP STORM PP INV OUT: 206.84 @ 0.50% (S)	3	2	TALLA
ST6	CURB INLET TYPE '5' - L RIM: 223.57 INV IN: 218.39 INV OUT: 218.39	FROM ST6A, 18" HP STORM PP INV IN: 218.39 @ 0.50% (SW)	TO ST5, 18" HP STORM PP INV OUT: 218.39 @ 3.37% (SE)		ST21B	12' NYLOPLAST RIM: 212.50 INV OUT: 206.50		TO ST21A, 12" HP STORM PP INV OUT: 206.50 @ -0.65% (SW)	SIONAL	CLAYTON	UMBER
ST6A	CURB INLET TYPE '5' - R RIM: 223.57 INV OUT: 218.50 TYPE 'C' INI ET		TO ST6, 18" HP STORM PP INV OUT: 218.50 @ 0.50% (NE)		ST22	STORM MANHOLE RIM: 214:34 INVIN: 208:04 INVIN: 208:04	FROM ST23, 18" HP STORM PP INV IN: 208.04 @ 0.50% (W) FROM STUBOUT FOR BLDG 7 - RD1, 12" HP STORM PP INV IN: 208.04 @ 5.34% (S)	TO ST21, 18" HP STORM PP INV OUT: 208.04 @ 0.50% (E)	SED PROFES	BRENNON M. CL	DA UCENSE N 82731
ST7	SLOTINY: 204.16 (N) RIM: 205.16 INV IN: 200.00 INV OUT: 200.00	FROM ST8, 18" HP STORM PP INV IN: 200.00 @ 2.78% (NE)	TO ST2, 18" HP STORM PP INV OUT: 200,00 @ 0.50% (W)		ST23	INV OUT: 208.04 CURB INLET TYPE '5' - L RIM: 213.15 INV IN: 208.28 INV OUT: 208.28	FROM ST23A, 18" HP STORM PP INV IN: 208.28 @ 0.50% (N)	TO ST22, 18" HP STORM PP INV OUT: 208.28 @ 0.50% (E)	nces	N BBE	AC PLOR
STB	STORM MANHOLE RIM: 209.26 INV IN: 202.80 INV IN: 202.80 INV IN: 202.80 INV IN: 202.80	FROM ST8, 16" HP STORM PP INV IN. 202.80 @ 1,54% (N) FROM STUBOUT FOR BLDG 3 - RD2, 12" HP STORM PP INV IN: 202.80 @ 6,74% (NW) FROM ST8A, 12" HP STORM PP INV IN: 202.80 @ 0,50% (E)	TO ST7, 18" HP STORM PP INV OUT: 202.80 @ 2.78% (SW)		ST23A	CURB INLET TYPE '5' - R RIM: 213.39 INV IN: 208.50 INV OUT: 208.50	FROM STUBOUT FOR BLDG 8 - RD1, 12" HP STORM PP INVIN: 208,50 @ 27.30% (NE)	TO ST23, 18" HP STORM PP INV OUT: 208.50 @ 0.50% (S)	КНА PROJECT 142992306	DATE AUGUST 202 ICALE AS SHO	SIGNED BY R
STBA	TYPE 'C' INLET RIM: 208.00 INV OUT: 203.00		TO STB, 12" HP STORM PP INV OUT: 203.00 @ 0.50% (W)		ST24	CURBINLET TYPE '5' - L RIM: 211.76 INV IN: 206.00 INV IN: 206.00 INV OUT: 206.00	FROM ST24A, 18" HP STORM PP INV IN: 206.00 @ 0.50% (W) FROM ST25, 18" HP STORM PP INV IN: 206.00 @ 3.77% (N)	TO ST20A, 24" HP STORM PP INV OUT: 206,00 @ 3,61% (SE)	Ľ		8 8
819	TYPE V INLET RIM: 210.08 INV IN: 205.00 INV OUT: 205.00	FROM ST10, 18" HP STORM PP INV IN: 205.00 @ 3.61% (W)	TO ST8, 18" HP STORM PP INV OUT: 205.00 @ 1.54% (S)		ST24A	CURBINLET TYPE '5' - R RIM: 211.76 INV OUT: 206.11		TO ST24, 18" HP STORM PP INV OUT: 206.11 @ 0.50% (E)		TER RF	<u>!</u>
ST10	TYPE 'V INLET RIM: 212.27 INV OUT: 207.25		TO ST9, 18" HP STORM PP INV OUT: 207.25 @ 3.61% (E)		ST25	TYPE 'V' INLET RIM: 217.33 INV IN: 210.82 INV IN: 210.82	FROM ST26, 18" HP STORM PP INV IN: 210.82 @ 3.54% (W) FROM ST31, 18" HP STORM PP INV IN: 210.82 @ 0.50% (E)	TO ST24, 18" HP STORM PP INV OUT: 210,82 @ 3,77% (S)	{	ĕ E	
ST11	TYPE 'C' INLET SLOT INV: 206.75 (N) RIM: 207.75 INV IN: 201.81 INV OUT: 201.81	FROM ST12, 24" INV IN: 201.81 @ 0.50% (W)	TO ST2A, 24" INV OUT: 201.81 @ 0.50% (E)		ST26	INV OUT: 210.82 STORM MANHOLE RIM: 217.76 INV IN: 212.34 INV IN: 212.34	FROM STUBOUT FOR CARR BLDG 2 - RD1, 12° HP STORM PP INV IN: 212.34 @ 1.00% (SE) FROM ST7, 18° HP STORM PP INV IN: 212.34 @ 0.50% (W) FROM ST2A 1.2° HP STORM PM IN IN: 212.34 @ 1.00% (N)	TO ST25, 18" HP STORM PP INV OUT: 212.34 @ 3.54% (E)	(	TORMWAT	TABLE
ST12	TYPE 'V INLET RIM: 210.61 INV IN: 202.41 INV IN: 202.41 INV OUT: 202.41	FROM ST13, 24" HP STORM PP INV IN: 202.41 @ 0.50% (W) FROM STUBOUT FOR BLDG 4 - RD2, 12" HP STORM PP INV IN: 202.41 @ 11.11% (N)	TO ST11, 24" INV OUT: 202.41 @ 0.50% (E)		ST26A	INV IN: 212.34 INV OUT: 212.34 12' NYLOPLAST RIM: 216.89	11000 01200 12 TP 310700 FF PRY PL 212-34 (B 1.0078 (RW)	TO ST26, 12" HP STORM PP INV OUT: 212.79 @ 1.00% (SE)	{	S	J
ST13	TYPE V INLET RIM: 210.26 INV IN: 203.35 INV IN: 203.35 INV OUT: 203.35	FROM ST14, 18" HP STORM PP INV IN: 203.35 @ 0.50% (W) FROM STUBOUT FOR BLDG 5 - RD2, 12" HP STORM PP INV IN: 203.35 @ 6.82% (N)	TO ST12, 24" HP STORM PP INV OUT: 203.35 @ 0.59% (E)		ST27	INV OUT: 212.79  TYPE 'V' INLET RIM: 219.01 INV IN: 212.82 INV IN: 212.82	FROM ST28, 18" HP STORM PP INV IN: 212.82 @ 0.50% (W) FROM STUBOUT FOR BLOS 3 - ROZ, 12" HP STORM PP INV IN: 212.82 @ 5.30% (S) FROM ST27, In Fire STORM IP IN VE 12.82 @ 5.50% (I)	TO ST26, 18" HP STORM PP INV OUT: 212.82 @ 0.50% (E)		MILY	S LLC
ST14	TYPE V INLET RIM: 208.95 INV IN: 204.00 INV IN: 204.00 INV OUT: 204.00	FROM ST49, 18" HP STORM PP INV IN: 204.00 @ 1.40% (N) FROM ST15, 18" HP STORM PP INV IN: 204.00 @ 1.88% (W)	TO ST13, 18" HP STORM PP INV OUT: 204.00 @ 0.50% (E)		ST27A	INV OUT: 212.82 12' NYLOPLAST RIM: 220.09 INV OUT: 216.00		TO ST27, 18" HP STORM PP INV OUT: 216.00 @ 7.55% (S)		MULTI-FAMILY ARED FOR	RTNER
8115	TYPE V INLET RIM: 210.68 INV IN: 205.50 INV OUT: 205.50	FROM ST16, 18" HP STORM PP INV IN: 205.50 @ 0.72% (W)	TO ST14, 18" HP STORM PP INV OUT: 205.50 @ 1.88% (E)		ST28	STORM MANHOLE RIM: 221.02 INVIN: 213.70 INVIN: 213.70 INVIN: 213.70	FROM ST29, 18" HP STORM PP INV IN: 213.70 @ 0.50% (M) FROM ST2A, 18" HP STORM PP INV IN: 213.70 @ 5.10% (N) FROM ST2BALT FOR ELDG 3 - ROY, 12" HP STORM FP INV IN: 213.70 @ 5.16% (SW)	TO ST27, 18" HP STORM PP INV OUT: 213.70 @ 0.50% (E)		THON MUI	PITAL PA
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		STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:	PIPES IN:	PIPES OUT
ST28A	12" NYLOPLAST RIM: 220.04 INV OUT: 216.00		TO ST28, 18" HP STORM PP INV OUT: 216.00 @ 6.10% (S)
ST29	TYPE 'V' INLET RIM: 219.50 INV IN: 214.50 INV OUT: 214.50	FROM ST30, 12" HP STORM PP INV IN: 214.50 @ 2.96% (N)	TO ST28, 18" HP STORM PP INV OUT: 214.50 @ 0.50% (E)
ST30	12" NYLOPLAST RIM: 219.50 INV OUT: 215.50		TO ST29, 12" HP STORM PP INV OUT: 215,50 @ 2,96% (8)
ST31	TYPE 'V' INLET RIM: 215.98 INV IN: 211.50 INV OUT: 211.50	FROM STUBOUT FOR BLDG 10 - RD2, 12" HP STORM PP INV IN: 211.50 @ 4.21% (S)	TO ST25, 18" HP STORM PP INV OUT: 211.50 @ 0.50% (W
ST32	CURB INLET TYPE '5' - L RIM: 216.45 INV IN: 207.83 INV OUT: 207.83	FROM ST33, 30" HP STORM PP (NV IN: 207.83 @ 0.50% (NE)	TO ST4, 30" HP STORM PP INV OUT: 207,83 @ 0,50% (SW
ST33	STORM MANHOLE RIM: 217.32 INV IN: 208.12 INV IN: 208.12 INV OUT: 208.12	FROM ST34, 30° HP STORM PP INV IN: 208,12 @ 0.50% (NE) FROM ST33A, 12° HP STORM PP INV IN: 208,12 @ 0.95% (SE)	TO ST32, 30° HP STORM PP INV OUT: 208,12 @ 0.50% (S
ST33A	12' NYLOPLAST RIM: 212.50 INV OUT: 208.50		TO ST33, 12" HP STORM PP INV OUT: 208,50 @ 0.95% (N
ST34	CURB INLET TYPE '5' - L RIM: 217.83 INV IN: 211.64 INV IN: 208.47 INV OUT: 208.47	FROM ST34A, 24" HP STORM PP INV IN. 211.64 @ 0.50% (NW) FROM ST35, 24" HP STORM PP INV IN. 208.47 @ 0.50% (NE)	TO ST33, 30" HP STORM PP INV OUT: 208.47 @ 0.50% (S
ST34A	CURB INLET TYPE '5' - R RIM: 217.83 INV IN: 211.75 INV OUT: 211.75	FROM ST44, 18" HP STORM PP INV IN: 211.75 @ 4.19% (NW)	TO ST34, 24" HP STORM PP INV OUT: 211.75 @ 0.50% (S
ST35	STORM MANHOLE RIM: 219:38 INV IN: 209:14 INV IN: 209:14 INV OUT: 209:14	FROM ST38, 24" HP STORM PP INV IN: 209.14 @ 2.56% (N) FROM ST43, 18" HP STORM PP INV IN: 209.14 @ 0.50% (SE)	TO ST34, 24" HP STORM PP INV OUT: 209.14 @ 0.50% (S
ST36	CURB INLET TYPE '5' - R RIM: 221.99 INV IN: 210.92 INV IN: 216.00 INV OUT: 210.92	FROM ST36A, 24" HP STORM PP INV IN: 210.92 @ 0.50% (NE) FROM ST37, 24" HP STORM PP INV IN: 216.90 @ 4.32% (NW)	TO ST35, 24" HP STORM PP INV OUT: 210,92 @ 2,56% (S
ST36A	CURB INLET TYPE '5' - L RIM: 221.99 INV IN: 211.03 INV OUT: 211.03	FROM \$1368, 12" HP STORM PP INV IN: 211.03 @ 0.50% (E)	TO ST36, 24" HP STORM PP INV OUT: 211.03 @ 0.50% (S
ST36B	TYPE 'C' INLET SLOT INV: 215.25 (W) RIM: 216.25 INV OUT: 211.25		TO ST36A, 12" HP STORM PP INV OUT: 211.25 @ 0.50% (
ST37	CURB INLET TYPE '5' - R RIM: 225.97 INV IN: 219.89 INV IN: 219.89 INV OUT: 219.89	FROM ST37A, 24" HP STORM PP INV IN 219,89 @ 0,50% (NE) FROM ST38, 18" HP STORM PP INV IN 219,89 @ 3,01% (NW)	TO ST36, 24" HP STORM PP INV OUT: 219.89 @ 4.32% (S
ST37A	CURB INLET TYPE '5' - L RIM: 225.97 INV IN: 220.00 INV OUT: 220.00	FROM ST37B, 12' HP STORM PP INV IN: 220.00 @ 5.28% (N)	TO ST37, 24" HP STORM PP INV OUT: 220,00 @ 0,50% (S
ST37B	12' NYLOPLAST RIM: 226.25 INV IN: 222.25 INV OUT: 222.25	FROM ST37C, 12" HP STORM PP INV IN: 222.25 @ 1.23% (NE)	TO ST37A, 12" HP STORM PP INV OUT: 222.25 @ 5.26% (
ST37C	12' NYLOPLAST RIM: 226.75 INV IN: 222.75 INV OUT: 222.75	FROM ST37D, 12" HP STORM PP  NV  N: 222.75 @ 8.03% (NE)	TO ST37B, 12' HP STORM PP INV OUT: 222.75 @ 1.23% (
ST37D	12' NYLOPLAST RIM: 234.75 INV OUT: 230.75		TO ST37C, 12" HP STORM PP INV OUT: 230.75 @ 8.03% (
ST38	CURB INLET TYPE '5' - R RIM: 229.74 INV IN: 223.64 INV IN: 223.64 INV IN: 223.64 INV OUT: 223.64	FROM STORA, 18" HP STORM PP INV IN. 223.54 @ 0.50% (NE) FROM STOR, 15" HP STORM PP INV IN. 223.54 @ 4.25% (NW) FROM STUBOUT FOR CARR BLDG 1 - RD1, 12" HP STORM PP INV IN. 223.54 @ 4.87% (S)	TO ST37, 18" HP STORM PP INV OUT: 223.64 @ 3.01% (SI
ST38A	CURB INLET TYPE '5' - L RIM: 229.74 INV IN: 223.75 INV OUT: 223.75	FROM STUBOUT FOR POOL - RD1, 12" HP STORM PP INV IN: 223.75 @ 12.75% (NE)	TO ST38, 18" HP STORM PP INV OUT: 223.75 @ 0.50% (8'

STRUCTURE TABLE							
STRUCTURE NAME:	DETAILS:	PIPES IN:	PIPES OUT				
ST39	STORM MANHOLE RIM: 231.80 INV IN: 226.50 INV OUT: 226.50	FROM ST40, 18" HP STORM PP INV IN: 226.50 @ 2.51% (NW)	TO ST38, 18" HP STORM PP INV OUT: 228.50 @ 4.26% (SE)				
ST40	TYPE V INLET RIM: 233.18 INV IN: 228.00 INV OUT: 228.00	FROM ST41, 18" HP STORM PP (NV IN: 228.00 @ 2.83% (NE)	TO ST39, 18" HP STORM PP INV OUT: 228.00 @ 2.61% (SE)				
ST41	CURB INLET TYPE '5' - L RIM: 234,34 INV IN: 229.00 INV OUT: 229.00	FROM ST42, 18" HP STORM PP INV IN: 229.00 @ 8.45% (N)	TO ST40, 18" HP STORM PP INV OUT: 229,00 @ 2.83% (SW				
ST42	TYPE V INLET RIM: 238.79 INV IN: 233.50 INV OUT: 233.50	FROM STUBOUT FOR CLUBHOUSE - RD1, 12" HP STORM PP INV IN: 233.50 @ 0.50% (E)	TO ST41, 18" HP STORM PP INV OUT: 233.50 @ 8.45% (S)				
ST43	CURB INLET TYPE '5' - R RIM: 214.98 INV IN: 209.38 INV OUT: 209.38	FROM ST43A, 18" HP STORM PP INV IN: 209.38 @ 0.50% (SE)	TO ST35, 18" HP STORM PP INV OUT: 209.38 @ 0.50% (NM				
ST43A	CURB INLET TYPE '5' - L RIM: 214.66 INV OUT: 209.50		TO ST43, 18" HP STORM PP INV OUT: 209.50 @ 0.50% (NV				
ST44	TYPE 'C' INLET RIM: 223,20 INV IN: 213,25 INV IN: 218,00 INV OUT: 213,25	FROM ST45, 18" HP STORM PP INV IN: 213,25 @ 2,83% (NW) FROM ST44A, 18" HP STORM PP INV IN: 218,00 @ 2,38% (NE)	TO ST34A, 18" HP STORM PP INV OUT: 213.25 @ 4.19% (S				
ST44A	TYPE 'C' INLET RIM: 225.52 INV OUT: 220.50		TO ST44, 18" HP STORM PP INV OUT: 220.50 @ 2.86% (SV				
ST45	TYPE 'C' INLET RIM: 225.21 INV IN: 219.80 INV IN: 215.54 INV OUT: 215.54	FROM STUBOUT FOR BLDG 2 - RD2, 12" HP STORM PP INV IN: 219.80 @ 0.50% (SW) FROM ST48, 16" HP STORM PP INV IN: 215.54 @ 0.50% (NV)	TO ST44, 18" HP STORM PP INV OUT: 215.54 @ 2.83% (SE				
ST46	STORM MANHOLE RIM: 227.54 INV IN: 222.00 INV IN: 218.14 INV OUT: 216.20	FROM ST48A, 18" HP STORM PP INV IN: 222,00 @ 3,80% (NE) FROM ST47, 18" HP STORM PP INV IN: 218.14 @ 0.50% (SW)	TO ST45, 18" HP STORM PP INV OUT: 216.20 @ 0.50% (SE				
ST46A	TYPE 'V INLET RIM: 229.42 INV OUT: 223.50		TO ST46, 18" HP STORM PP INV OUT: 223.50 @ 3.80% (SV				
ST47	TYPE V INLET RIM: 225,83 INV IN: 218,45 INV IN: 218,45 INV OUT: 218,45	FROM ST48, 18" HP STORM PP INV IN: 218.45 @ 0.50% (SW) FROM STUBOUT FOR BLDG 1 - RD1, 12" HP STORM PP INV IN: 218.45 @ 8.34% (NW)	TO ST46, 18" HP STORM PP INV OUT: 218.45 @ 0.50% (NE				
ST48	TYPE V INLET RIM: 223.72 INV IN: 218.75 INV OUT: 218.75	FROM ST48A, 12" HP STORM PP INV IN: 218.75 @ 3.47% (NW)	TO ST47, 18" HP STORM PP INV OUT: 218.75 @ 0.50% (Ni				
ST48A	12" NYLOPLAST RIM: 229.50 INV IN: 223.46 INV OUT: 223.46	FROM ST48B, 12" HP STORM PP INV IN: 223.46 @ 3.47% (NE)	TO ST48, 12" HP STORM PP INV OUT: 223.46 @ 3.47% (SE				
ST48B	12" NYLOPLAST RIM: 232.50 INV IN: 226.94 INV OUT: 226.94	FROM STUBOUT FOR BLDG 1 - RD2, 12" HP STORM PP INV IN: 228.94 @ 1.00% (SE)	TO ST48A, 12" HP STORM PP INV OUT: 226.94 @ 3.47% (\$				
ST49	CURB INLET TYPE '5' - R RIM: 209.93 INV IN: 204.70 INV IN: 204.70 INV OUT: 204.70	FROM ST49A, 18" HP STORM PP INV IN: 204.70 @ 1.40% (E) FROM STUBOUT FOR BLDG 6 - RD2, 12" HP STORM PP INV IN: 204.70 @ 0.83% (W)	TO ST14, 18" HP STORM PP INV OUT: 204,70 @ 1,40% (S)				
ST49A	CURB INLET TYPE '5' - L RIM: 209.93 INV OUT: 205.00		TO ST49, 18" HP STORM PP INV OUT: 205.00 @ 1.40% (W				
STUBOUT FOR BLDG 1 - RD1	RIM: 223.17		TO ST47, 12" HP STORM PP INV OUT: 222.00 @ 8.34% (SE				
STUBOUT FOR BLDG 1 -RD2	RIM: 228.17		TO ST48B, 12" HP STORM PP INV OUT: 227.00 @ 1.00% (f				
STUBOUT FOR BLDG 2 - RD1	RIM: 214.19		TO ST5, 12" HP STORM PP INV OUT: 213.02 @ 0.50% (SW				

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- 222 ENTENT OF SECULES, N.

- 282 ENTENT OF SECULES, N.

- 284 CONTINUE DELIVERY, SUIT EN
- 285 CONTINU

BRENNON M. CLAYTON FLORIDA LICENSE NUMBER 82731

STRUCTURE TABLE							
STRUCTURE NAME:	DETAILS:	PIPES IN:	PIPES OUT				
STUBOUT FOR BLDG 2 - RD2	INV OUT: 220.00		TO ST45, 12" HP STORM PP INV OUT: 220.00 @ 0.50% (NE)				
STUBOUT FOR BLDG 3 - RD1	INV OUT: 207.00		TO ST3, 12" HP STORM PP INV OUT: 207,00 @ 1,00% (SW)				
STUBOUT FOR BLDG 3 - RD2	INV OUT: 205.50		TO ST8, 12" HP STORM PP INV OUT: 205.50 @ 6,74% (SE)				
STUBOUT FOR BLDG 4 - RD1	INV OUT: 209.00		TO ST17, 12" HP STORM PP INV OUT: 209.00 @ 32.46% (W				
STUBOUT FOR BLDG 4 - RD2	INV OUT: 206.75		TO ST12, 12" HP STORM PP INV OUT: 206,75 @ 11,11% (S)				
STUBOUT FOR BLDG 5 - RD1	INV OUT: 206,00		TO ST20, 12" HP STORM PP INV OUT: 206.00 @ 12.29% (N)				
STUBOUT FOR BLDG 5 - RD2	INV OUT: 206.00		TO ST13, 12" HP STORM PP INV OUT: 206.00 @ 6.82% (S)				
STUBOUT FOR BLDG 6 - RD1	INV OUT: 207.50		TO ST21, 12" HP STORM PP INV OUT: 207.50 @ 3.62% (N)				
STUBOUT FOR BLDG 6 - RD2	INV OUT: 205.00		TO ST49, 12" HP STORM PP INV OUT: 205.00 @ 0.83% (E)				
STUBOUT FOR BLDG 7 - RD1	INV OUT: 209.50		TO ST22, 12" HP STORM PP INV OUT: 209.50 @ 5.34% (N)				
STUBOUT FOR BLDG 7 - RD2	INV OUT: 208.50		TO ST16, 12" HP STORM PP INV OUT: 208.50 @ 3.76% (SE)				
STUBOUT FOR BLDG 8 - RD1	INV OUT: 214.00		TO ST23A, 12" HP STORM PP INV OUT: 214,00 @ 27,30% (S				
STUBOUT FOR BLDG 8 - RD2	INV OUT: 216,00		TO ST28, 12" HP STORM PP INV OUT: 216.00 @ 5.16% (NE)				
STUBOUT FOR BLDG 9 - RD1	INV OUT: 214.00		TO ST21A, 12" HP STORM PP INV OUT: 214.00 @ 28.05% (S				
STUBOUT FOR BLDG 9 - RD2	INV OUT: 215.00		TO ST27, 12" HP STORM PP INV OUT: 215.00 @ 5.30% (N)				
STUBOUT FOR BLDG 10 - RD1	INV OUT: 208.00		TO ST18, 12" HP STORM PP INV OUT: 208.00 @ 9.34% (S)				
STUBOUT FOR BLDG 10 - RD2	INV OUT: 213.22		TO ST31, 12" HP STORM PP INV OUT: 213,22 @ 4,21% (N)				
STUBOUT FOR CARR BLDG 1 - RD1	INV OUT: 224,50		TO ST38, 12" HP STORM PP INV OUT: 224.50 @ 4.87% (N)				
STUBOUT FOR CARR BLDG 2 - RD1	INV OUT: 212.53		TO ST26, 12" HP STORM PP INV OUT: 212.53 @ 1.00% (NW,				
STUBOUT FOR CLUBHOUSE - RD1	INV OUT: 233,76		TO ST42, 12" HP STORM PP INV OUT: 233.76 @ 0.50% (W)				

STRUCTURE TABLE							
STRUCTURE NAME:	DETAILS:	PIPES IN:	PIPES OUT				
STUBOUT FOR POOL - RD1	INV OUT: 228.00		TO ST38A, 12" HP STORM PP INV OUT: 228.00 @ 12.75% (SW)				

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- 282 ENTENT OF SECULES, N.

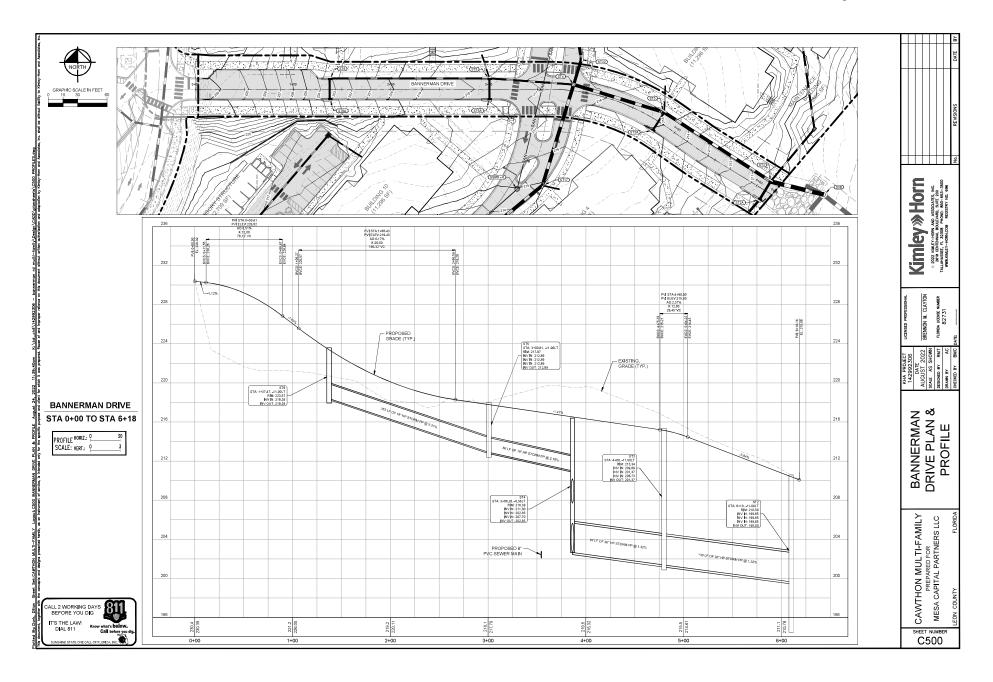
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- 285 CONTINU

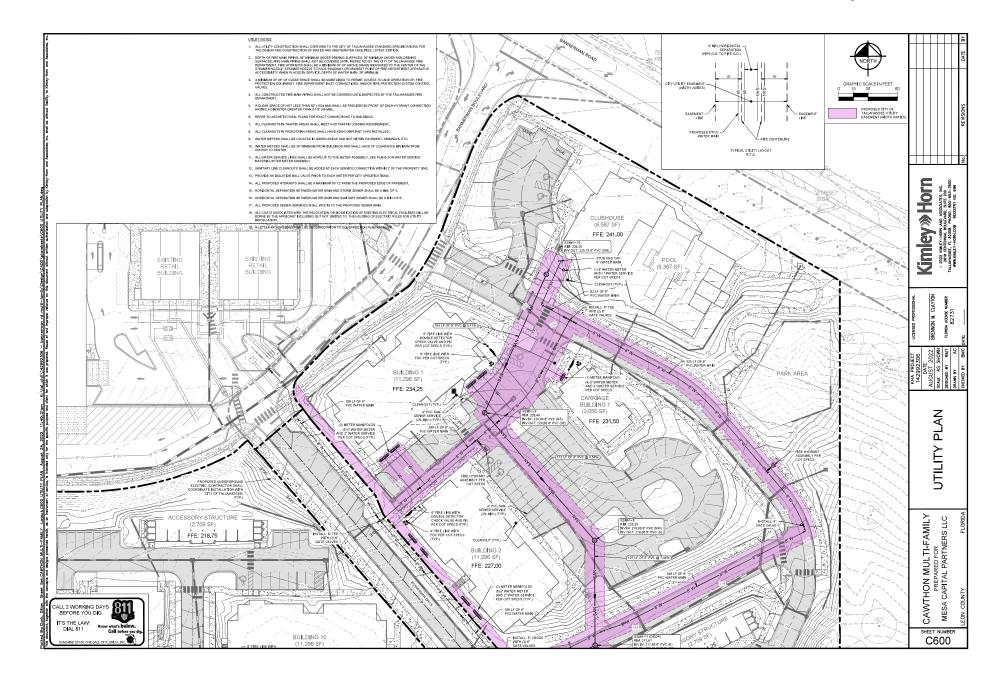
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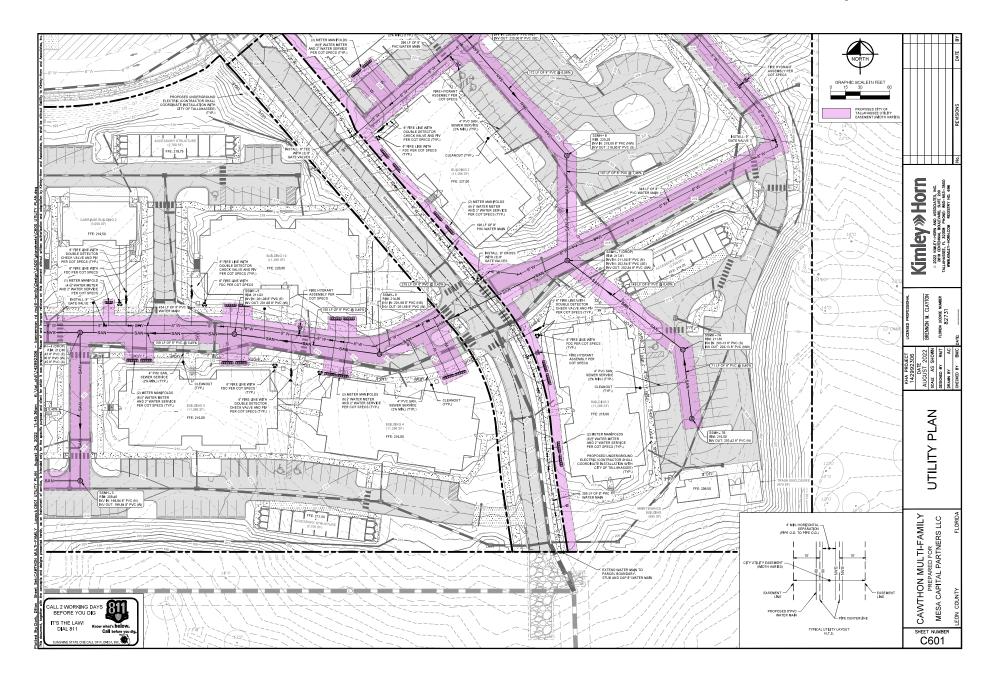
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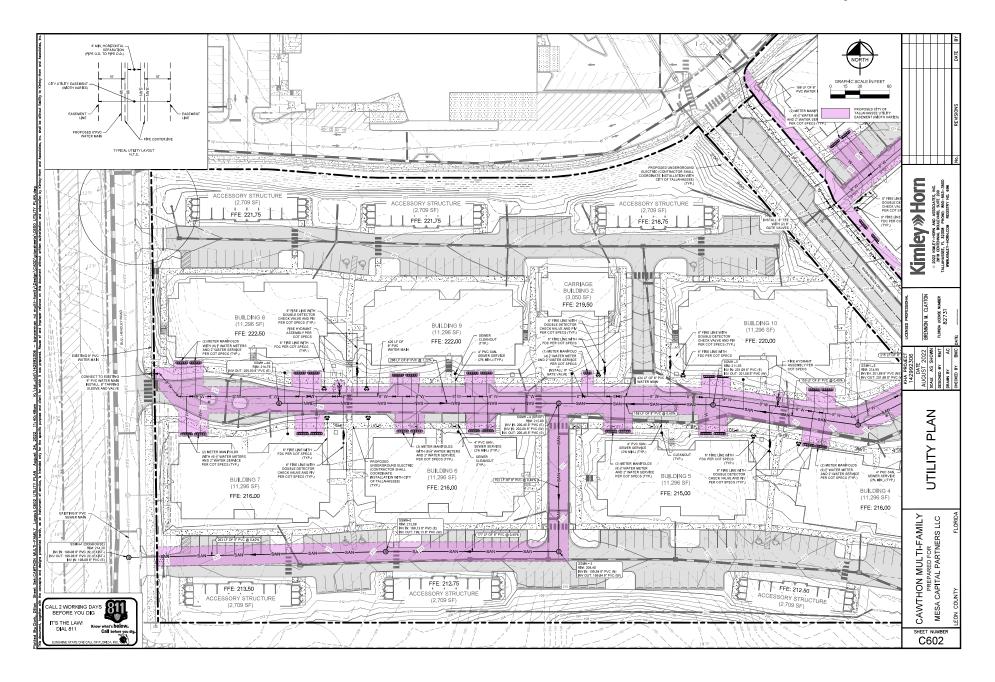
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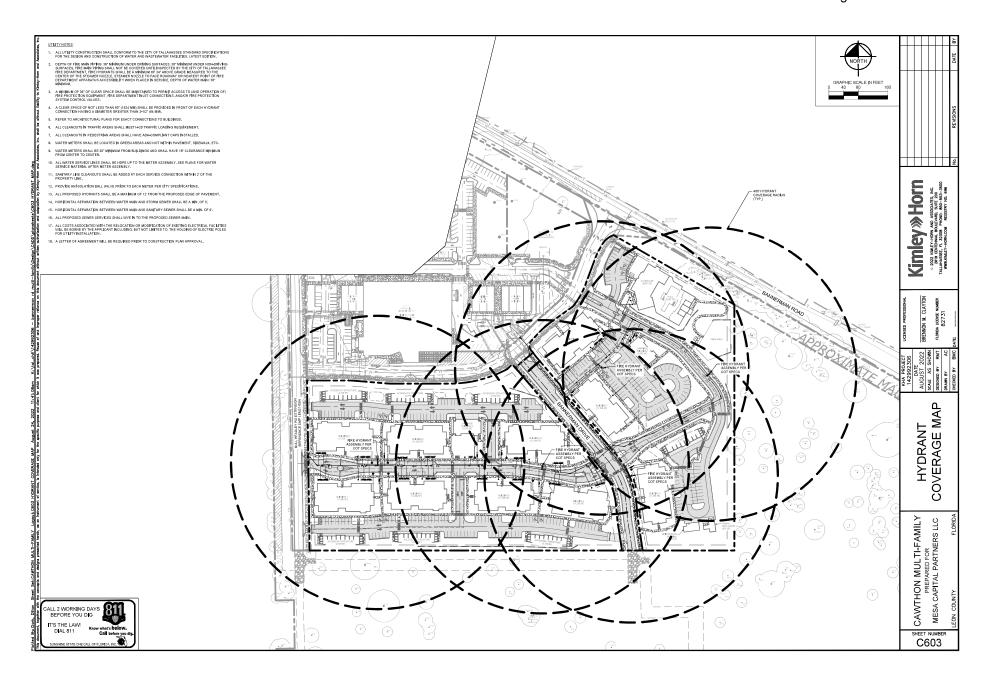
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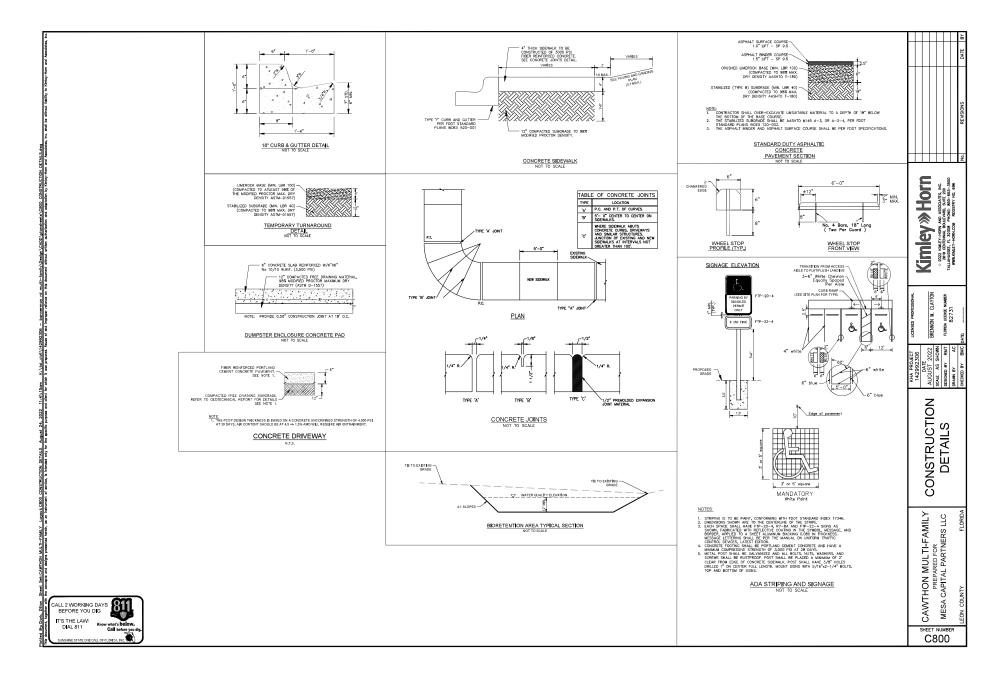




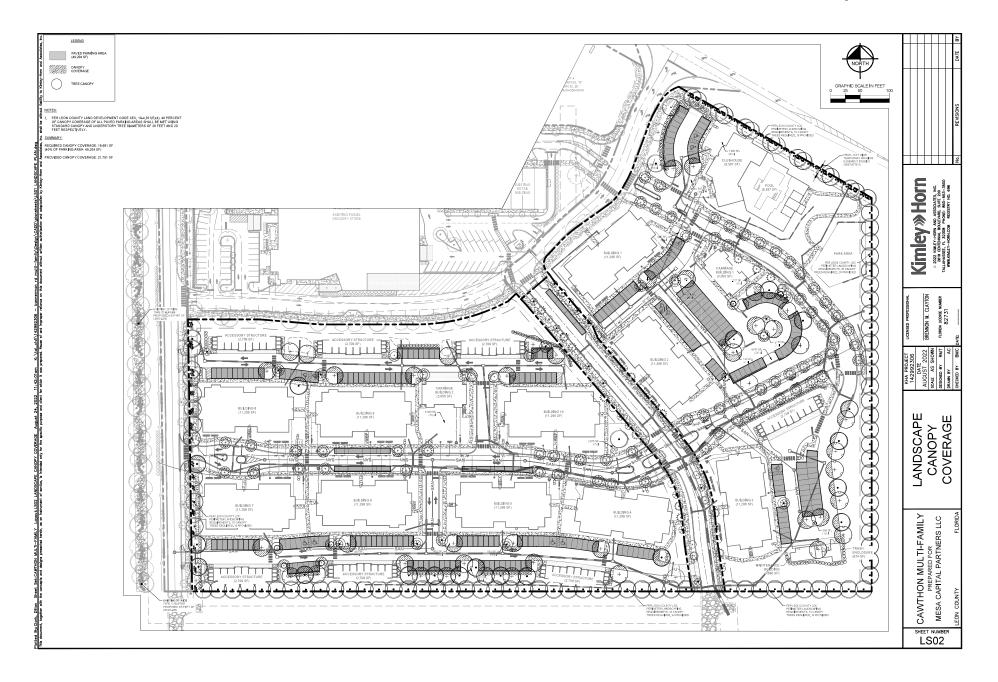












LOCATE ALL UNDERGROUND UTILITIES, ELECTRICAL WIRING, WATER, SEWER, TELEPHONE, TV CABLE, ETC. PRIOR TO LANDSCAPE OR IRRIGATION INSTALLATION. 2. Nº HINDEM OF HARDHOOD BARK PELCH OPPINCTED OR AS SPICIPED, HARDS TREES ARE PLACED IN SIG, PILCH RING ROT TREES SHALL BE V DIAPETER (MIL.) OR AS DERICITO BY OWNERS REPORTOMETRICS. 2. 3" MINIMEM OF HARDWOOD BASK MALCH COPPACTED OR AS SPECIFIED HHERE THESE ARE PLACED IN SOO, FALCH SIMS FOR THESE SHALL BE 6" DANSTOR (MIN.) OR AS DESCRIBED BY CHARRES PROPERTY AT JUST. - ROOTBALL AND "RUNK -- ROOTBALL AND TRUNK THEE STABLIZATION AN PERTILIZATION SYSTEM DEPOSITE AT A TABLE OF THE STATE OF THE STAT BEPSONDER THE STABLES OF SELECTION OF SELECTION OF SELECTION OF SELECTION OF SELECTION OF SELECTIONS INSTALL ONLY PLANTS GRADED FLORIDA #1 OR BETTER AS SET FORTH IN THE FLORIDA DEPARTMENT OF AGRICULTURE "GRADES AND STANDARDS FOR NURSERY PLANTS" PART JAN O JACLULING REVISION AND WHICH MEET OR EXCED THE SIZES INDICATED IN THE PLANTING SCHEDULE AND DETAILS. 5. FINISHED GRADE, (SEE GRADING PLAN) FERTILIZE ALL TREES WITH AGRIFORM 21 GRAM TABLETS, SLOW-RELEASE 20-10-5 AMALYSIS WITH ONE TABLET PER 1/2" OF TRUNK DIAMETER MULTI-TRUNK TREES SHALL BE CUMULATIVE. 6. TOP OF ROOTBALL MIN I' ABOVE PINISHED GRADE. 6. TOP OF ROOTBALL PIN. IT ABOVE FINISHED GRADE. PRINCIPLO GRADE,

18 6 B OR CONTAINERS DE TREE PROFINATION FOR BOOT BALL

REQUIREMENT BALL

REQUIREMENT

REQUIRE B 4 B OR CONTAINERIZED (SET SPECIFICATIONS FOR ROOT BALL REQUIREMENTS). TOP DRESS ALL PLANTING BEDS WITH A 4" LAYER OF SANDY-LOAM TOPSOIL, CROWN WITH TOPSOIL ALL PARKING AREA (SLAND PLANTERS TO HEIGHT AS NDICATED ON GRADING PLAN OR DETAIL ABOVE THE TOP OF CURB. NUT GRASS INFESTED TOPSOIL MILL NOT BE ACCEPTED. B, PREPARED PLANTING SOL AS SPECIFIED. SPECIFICAL GREATER THAN 30° DARFETER SHALL BE PLACED WI HOUND OF UNDESTREED SOLLTON PRENENT SETTING ROTTELLS SPALLER THAN 30° IN DIA MOT STON COPPACTED SARTH.

10. UNDESTREED SUBSOL. BACKFILL ALL PLANTING PITS WITH ON-SITE SOIL. SUBMIT TOPSOIL SAMPLES FOR APPROVAL BY ENGINEER (SEE PLANTING DETAILS) FERTILIZE ALL PLANTING BEDS WITH OSMOCOTE 18-8-12 SLOW-RELEASE FERTILIZER AT THE RATE OF 16 FOUNDS PER 1,000 SQUARE FEET. FURNISH RECEIPTS FOR MATERIALS USED. OUT BACK SLOPE TO PROVIDE A FLAT SURFACE FOR PLANTING. A. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER. MULCH PLANTING BEDS TO A MINIMUM 3" LOOSE THICKNESS WITH CLEAN, RED DYED CRUSHED PINE BARK MULCH. IO. LAY SOO SOLDLY MALL DISTURBED OR INDICATED AREAS WITH CLOSELY ABUTTING JOHTS, ROLL AND FERTILIZE IN ACCORDANCE WITH SECTION 10-4.105 OF THE LEGHON COUNTY LAND DEVELOPMENT CODE. HI ALL SODDED SLOPES GREATER THAN 3.1 WITH STEEL U-PINSISOD STAPLES. REMOVE BURLAP, HIRE AND STRAPS (ANYTHING THAT COLD GROULE TREE OR RESTRICT HOOT GROWTH) ON LIPPER L/S OF REOTEMAL B. REPIONE BURLAP, WIRE AND STRAPS (ANYTHING THAT COULD GROLE TREE OR RESTRICT ROOT GROWTH) ON LIPPER 13 OF POOTEN. C. SEE LANDSCAPE NOTES FOR THE TYPE OF HULON MATERIAL TO USE. VERIFY ALL QUANTITIES IN THE PLANTING SCHEDULE AND INSTALL ALL PLANTS AND MATERIALS AS INDICATED IN THE PLAN. PROVIDE UNIT PRICES FOR EACH ITEM: PLANTS, MATERIALS, LABOR, ETC. C. SEE LANDSCAPE NOTES FOR THE TYPE OF PULCH PIATERIAL TO USE. ). PRIME TREE AS DIRECTED BY LANDSCAPE ARCHITECT. D. PRUNE TREE AS DIRECTED BY LANDSCAPE ARCHITECT. 12. NOTIFY THE OWNER AND ENGINEER OF ANY UNFORESEEN CONDITIONS LE, COMPACTED SOLIS-BORADE, POOR DRAINAGE, UTILITY CONFLICTS, ETC., PRIOR TO PROCEEDING WITH LANDSCAPE OR IRRIGATION INSTALLATION. C. BRANCHING HEIGHT TO A.A.N. STANDARDS. E. BRANCHING HEIGHT TO A.A.N. STANDARDS. TREE PLANTING TREE PLANTING ON A SLOPE CONTRACTOR SHALL WARRANTY ALL PLANTS FOR ONE YEAR AFTER ENVIRONMENTAL PERMIT CLOSECUT. THE OF SHARE BOOTHLIST TO SE PLANTED IT "I WAR ARTH DO. POWER BOTH DO. TO FOR OF THE SHARE AS DESCRIBED AND SHARE AS DESCRIBED A SHARE AS DESCRIBED TO A SHARE AS DESCRIBED TO A SHARE AS DESCRIBED TO PLANTER OF THE TO BE INC. THE TO STATE ASSOCIATION FLAN SHARE CONTROL THE TO BE INC. THE TO STATE AND THE TO BE INC. THE TO STATE AND THE TO BE INC. THE TO STATE AND THE TO STATE AND THE TO STATE SHARE THE TO STATE AND THE TO STATE AND THE TO STATE SHARE THE TO STATE AND THE TO ALL PLANTS, MATERIALS AND WORKMANSHIP ARE SUBJECT TO THE APPROVAL OF THE ENGINEER AND OWNER. TREE PLANTING ON A SLOPE 15. DO NOT MAKE SUBSTITUTIONS OR REVISIONS, ANY REVISIONS OR MODIFICATIONS TO THE LANDSCAPE PLAN MUST HAVE PRIOR APPROVAL BY THE ENGINEER, OWNER AND PERMITTING AUTHORITY OF CONTROL OF THE PROVINCE OF THE PROPERTY REVISIONS WITH SEPOCHMENTED AS A PERMIT AMERICANIST IN ACCORDANCE WITH APPLICABLE CITY OR COUNTY OR DIMINIORS. SEE NOTE SEE PLANS I. WHERE UNDERGROUND UTILITIES CONFLICT WITH PROPOSED PLANTINGS, TREE PLACEMENT SHALL BE A MINIMUM OF TEN FEET FROM THE UNDERGROUND UTILITY AND A ROOT BARRIER OF TWO FEET DEEP SHALL BE INSTALLED. NEW TREES MUST BE FIELD LOCATED UNDER THE SUPERVISION OF A CERTIFIED ARBORIST WHEN THEY ARE IN PROXIMITY TO EXISTING TREES IS. NO TRENCHING SHALL OCCUR WITHIN THE CPZ OF ANY TREE THAT IS TO REMAIN. PLANTING AREA FINAL GRADE AS SHOWN ON PLANS.
 CLEAR ZONE: 36" INN. FROM BACK OF CURB TO CONTER OF NEAREST SHRUB.
 CLEAR ZONE SHALL CONTAIN 3" CONTINUOUS MULCH OR TURF, SEE PLANS.
 MINITURE VERTICAL CLEARANCE, TOP OF CURB TO TOP OF MILCH. Planting on a Slope Planting Areas Adjacent to Parking/ Roadway

				- 2022 KIMLEY-HORN AND ASSOCIATES, INC.	2619 CENTENNAL BOULEVARD, SUITE 200 AM 144ASSEE FI 32300 PHONE: 860-667-7600	WINILKIMLEY-HORN.COM REGISTRY NO. 696	No. REVISIONS DATE BY
				0 2022	Z619	WWW.KIM	
LICENSED PROFESSIONAL			BRENNON M. CLAYTON		PLORIDA LICENSE NUMBER	82/31	DATE:
KHA PROJECT	142992306	DATE	AUGUSI 2022	SCALE AS SHOWN	DESIGNED BY RMT	DRAWN BY AC	ОНЕСКЕВ ВУ ВМС DATE:
ı							

LANDSCAPE DETAILS

CAWTHON MULTI-FAMILY
PREPARED FOR
COOR MESA CAPITAL PARTNERS LLC

nd Associates, Tro.	Tree ID   Tree Type:   Condition: Tree Size (in): Category: Debits:   Credits: 1786   OAK   Demo   12 A   4   1788   OAK   Demo   14 A   6   1790   OAK   Demo   14 A   6   1790   OAK   Demo   14 A   6   1790   OAK   Demo   15 A   6   1790   OAK   Demo   16 A   6   1790   OAK   OEMO   1800   OEMO   OE	Tree ID:   Tree Type:   Condition:   Tree Size (In)   Category: Debits: Oredits:   4929	Opy         Tree Type         Credit         Total           118         4" NUTTALL DAK         4         472           49         4" SOUTHERN DVE COK         4         196           6         4" EASTERN REDBUD         4         24           90         4" CREPE MITITE         4         300	AB BLACK
- and describing, the great states to Distry-vision or and describing the great states to Distry-vision or	1807	Mod	16	No. REVISIONS
March Month (North No. 1907) W.C. (No. 1907) M.C. (No. 1907) M	1955	S382	,	Kimley > Horn  ( 230 auth-wen ho security or an experience or an experienc
10 200 III CO SCOUNT N. N. N. AN GON V. CONSTANT OF THE SCOUNT OF THE SC	2400	Demo		AND ALGUST 222 SERVING IL CATTON SERVING IL CATT
Distriction Wife Control and C	4397	S743   P   Demo   14   A   6   -		TREE DEBITS  CREDITS
GALL 2 WORKING DAYS BEFORE YOU DIS	4774	2402   P   Remain   15   A   - 0		CAWTHON MULTI-FAMILY PREPARED FOR MESA CAPITAL PARTNERS LLC LEON COUNTY FLORIDA
DIAL 811 Call before you dis-	4887         CHE         Demo         13         A         6         -           4923         CHE         Demo         15         A         6         -           4927         OAK         Demo         36         A         16			SHEET MUMBER LS04