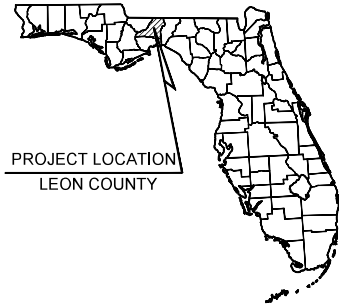


TYPE 'C' SITE AND DEVELOPMENT PLAN FDPA TRACK PERMIT SUBMITTAL FOR CAWTHON MULTI-FAMILY LEON COUNTY, FL PROJECT ID: LSP22015



PROJECT LOCATION
LEON COUNTY

PROJECT TEAM

DEVELOPER
MESA CAPITAL PARTNERS, LLC
3040 PEACHTREE ROAD NW, SUITE 970
ATLANTA, GA 30305
PHONE: 678-904-3223

PROPERTY OWNER
GOLDEN OAK LAND GROUP, LLC
4708 CAPITAL CIRCLE NW
TALLAHASSEE, FL 32303
PHONE: (850) 514-1000
CONTACT: JASON GHAZVINI

SURVEYOR
THURMAN RODDENBERRY & ASSOCIATES
125 SHELDON ST
SOPHOPHY, FL 32358
PHONE: (850) 862-2538
CONTACT: MELISSA DAVIS

GEOTECHNICAL ENGINEER
SOUTHERN EARTH SCIENCES
3642 PIEDIE DRIVE
TALLAHASSEE, FLORIDA 32303
PHONE: (850) 576-4652
CONTACT: MARK WILSON, P.E.

CIVIL ENGINEER
KIMLEY-HORN AND ASSOCIATES, INC.
2619 CENTENNIAL BLVD., SUITE #200
TALLAHASSEE, FL 32308
PHONE: (850) 853-3500
CONTACT: BRENNON CLAYTON, P.E.

UTILITY SUPPLIERS

WATER / SANITARY SEWER
CITY OF TALLAHASSEE
2602 JACKSON BLUFF RD.
TALLAHASSEE, FL 32304
PHONE: (850) 694-6007
CONTACT: JERRY WALDEN, P.E.

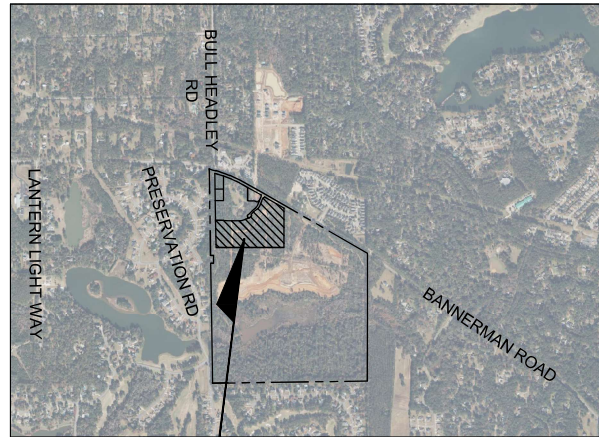
GAS
CITY OF TALLAHASSEE
2602 JACKSON BLUFF RD.
TALLAHASSEE, FL 32304
PHONE: (850) 891-6135
CONTACT: JIM ABBOTT

TELECOMMUNICATIONS
COMCAST CABLE
3760 HARTSFIELD RD.
TALLAHASSEE, FL 32303
PHONE: (850) 574-4060
CONTACT: LIAM MCKENNA

POWER
CITY OF TALLAHASSEE POWER - DISTRIBUTION
2602 JACKSON BLUFF RD.
TALLAHASSEE, FL 32304
PHONE: (850) 891-5019
CONTACT: DEAN MCCORMICK, P.E.

TELECOMMUNICATIONS
CENTURY LINK
1325 BLAIRSTONE RD, RM 113
TALLAHASSEE, FL 32301
PHONE: (850) 599-1444
CONTACT: BILL MCCLLOUD

TRAFFIC OPERATIONS
LEON COUNTY PUBLIC WORKS
2280 WOODSREEK RD
TALLAHASSEE, FL 32308



VICINITY MAP
SEC. 8 & 17, TWP. 2N, RNG. 1E

NORTH
PROJECT DATUM NAVD '88

TYPE C FDPA TRACK SITE PLAN APPROVAL	
LEON COUNTY PUBLIC WORKS DEPT.	DATE
LEON COUNTY DEPARTMENT OF DEVELOPMENT SUPPORT AND ENVIRONMENTAL MANAGEMENT	DATE
TALLAHASSEE-LEON COUNTY PLANNING DEPT.	DATE

DESIGN STANDARDS:

F.D.O.T. SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2021
F.D.O.T. STANDARD PLANS FOR ROAD CONSTRUCTION, 2021-2022
F.D.O.T. MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN,
CONSTRUCTION AND MAINTENANCE OF STREETS AND HIGHWAYS (GREEN BOOK)
CITY OF TALLAHASSEE STANDARD SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF
WATER AND WASTEWATER FACILITIES, CURRENT EDITION

LEON COUNTY PERMITS

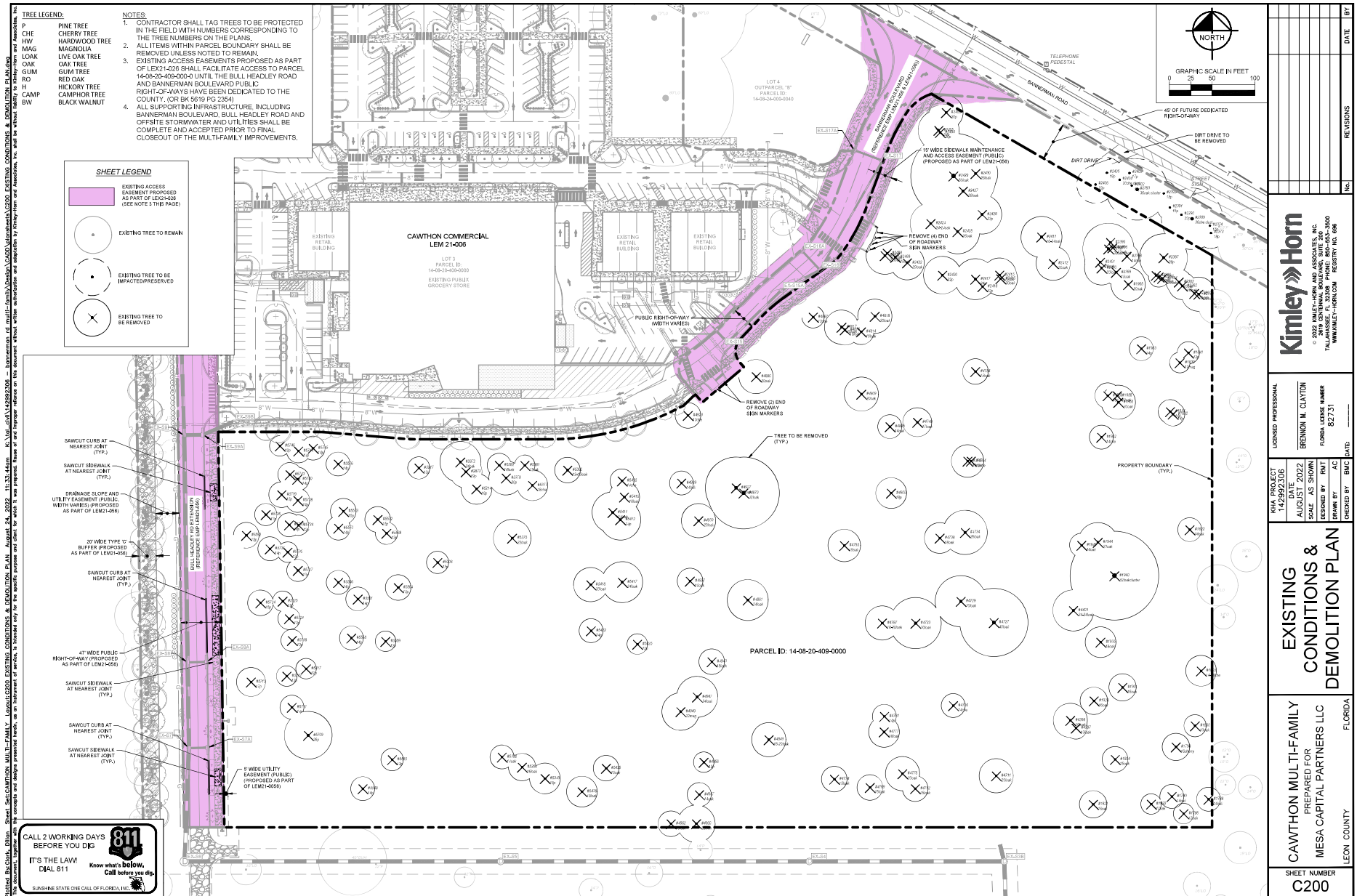
PERMITTED USE VERIFICATION : VC1900056R
NATURAL FEATURES INVENTORY: LEA1900014

CONTRACTOR NOTICE 2020 (effective December 31, 2020)

- The Contractor & Owner will be held accountable during construction for all site improvements. Compliance with Florida Statutes 553.5041 (F.S.) and the 2020 Florida Building Code, Accessibility, 7th Edition (FBC-A) is mandatory. If non-compliance at final inspection, contractor will be required to modify construction to comply with F.S. and FBC-A. The following items have provisions and reproduce other code details as follows:
1. ACCESSIBLE PARKING spaces shall be located on an accessible route no less than 44" wide so that users will not be required to walk a wheelchairs parked vehicles except behind a bus stop vehicle. [208.1 and 502.3 FBC-A and F.S. 553.5041]
 2. ACCESSIBLE PARKING spaces and access routes serving a particular building shall be located on the shortest accessible route from the accessible (R/C) parking to an accessible entrance. [208.1.1 FBC-A and F.S. 553.5041(3)(b)]
 3. ACCESSIBLE PARKING spaces shall be 12' wide and outlined with blue paint. [502.2 and 502.6 FBC-A]
 4. ACCESSIBLE RAMP required adjacent to parking spaces shall be 5' wide with diagonal ramping. [502.1 FBC-A]
 5. ACCESSIBLE PARKING and access routes shall be level (not to exceed 1:48) on a stable, firm, & slip-resistant surface. Re: [502.1, 502.3 FBC-A]
 6. ACCESSIBLE PARKING signs shall be FDOT approved and shall read "PARKING BY DISABLED PERSONS ONLY" and shall indicate a \$2.00 fee for illegal use. Install signs a minimum 60" (sixty) inches from the ground to the bottom of the sign(s). Re: [502.6 and F.S. 553.5041]
 7. CURB RAMPS shall not exceed 1:12 slope, and curb ramps shall not exceed 1:10 slope. Curb ramps and flared sides shall not encroach upon parking spaces, access routes, or vehicular traffic lanes. The counter slope of adjacent road surface is greater than 1:20, Re: [405.2, 406.1, 406.2, 406.3 FBC-A]
 8. CURB RAMPS shall have a landing with a minimum clear length of 36" shall be located at the top side of each curb ramp, a show, walk on level or side on the curb ramp (two leading flared sides) leading to it. Re: [405.2, 406.1, 406.2, 406.3 FBC-A]
 9. ALL RAMPS with a rise greater than 6" shall provide edge protection complying with [405.9 FBC-A] Ramps shall have 60" wide level landings at the top & bottom. Re: [405.7 FBC-A]
 10. ALL RAMPS with a rise greater than 6" shall have handrails on both sides with 12" horizontal extensions at the top & bottom of the ramp. Re: [1009.9 FBC-A (Florida Building Code - Building) and 1009.10 FBC-A]
 11. ACCESSIBLE ROUTES or "maneuver" from an accessible parking space and entrance "space" shall not exceed 1:20 slope (includes ramps, handrails with proper extensions are provided) with cross slope not in excess of 1:48. Re: [306, 340 and 340.1 FBC-A]
 12. "Connect buildings within the same site with an accessible route which shall not exceed 1:20 slope (includes ramps and handrails are provided) and a maximum cross slope of 1:48. Re: [306 FBC-A]
- *EXCEPTION: An accessible route shall not be required between accessible buildings, accessible facilities, accessible elements, and accessible spaces if the only means of access between them is a vehicular way not providing pedestrian access. Re: [306.1.1 FBC-A]

Sheet List Table	
Sheet Number	Sheet Title
C000	COVER SHEET
C200	EXISTING CONDITIONS & DEMOLITION PLAN
C300	PRELIMINARY PLAT
C301	OVERALL SITE PLAN
C302	SITE PLAN
C303	SITE PLAN
C304	SITE PLAN
C305	ROADWAY TYPICAL SECTIONS
C306	CIRCULATION PLAN
C307	CIRCULATION PLAN
C308	CIRCULATION PLAN
C309	SIGHT DISTANCE PLAN
C310	SIGHT DISTANCE PLAN
C311	SIGHT DISTANCE PLAN
C312	SIGNAGE & STRIPING PLAN
C313	SIGNAGE & STRIPING PLAN
C314	SIGNAGE & STRIPING PLAN
C315	BLOCK LENGTH LAYOUT
C316	NATURAL AREA PLAN
C400	OVERALL GRADING & DRAINAGE PLAN
C401	GRADING & DRAINAGE PLAN
C402	GRADING & DRAINAGE PLAN
C403	GRADING & DRAINAGE PLAN
C403A	DRIVEWAY PROFILES
C403B	DRIVEWAY PROFILES
C404	STORMWATER STRUCTURE TABLE
C405	STORMWATER STRUCTURE TABLE
C406	STORMWATER STRUCTURE TABLE
C500	BANNERMAN DRIVE PLAN & PROFILE
C600	UTILITY PLAN
C601	UTILITY PLAN
C602	UTILITY PLAN
C603	HYDRANT COVERAGE MAP
C800	CONSTRUCTION DETAILS
LS01	LANDSCAPE PLAN
LS02	LANDSCAPE CANOPY COVERAGE
LS03	LANDSCAPE DETAILS
LS04	TREE DEBITS AND CREDITS

KIMLEY-HORN 142992306 AUGUST 2022 SALE AS SHOWN DESIGNED BY BMT DRAWN BY AC CHECKED BY BNC DATE	BRENNON K. CLAYTON FLORIDA LICENSE NUMBER 82731	COVER SHEET	CAWTHON MULTI-FAMILY PREPARED FOR MESA CAPITAL PARTNERS LLC LEON COUNTY FLORIDA	SHEET NUMBER C000

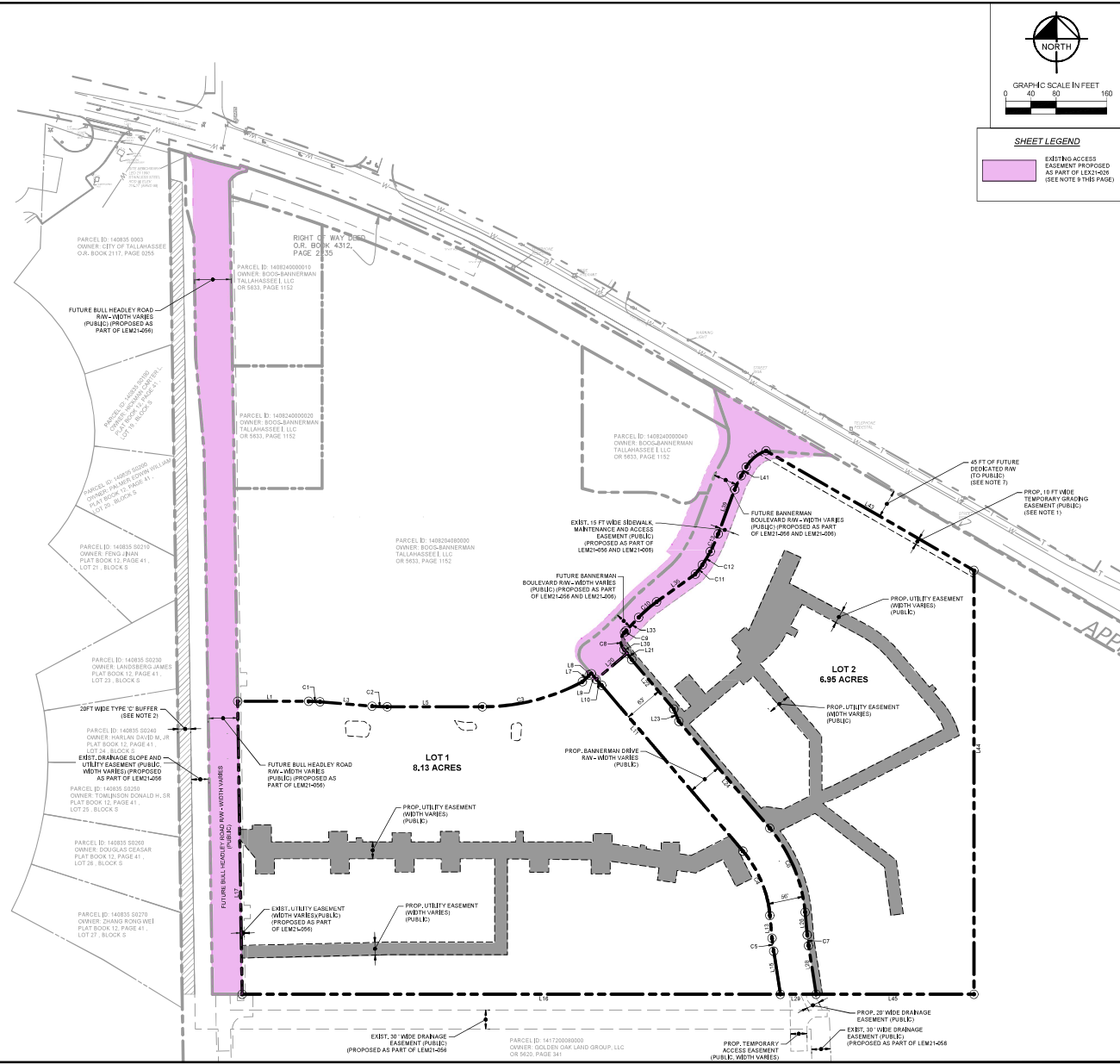


NOTES:

- PER APPROVED DEVELOPERS AGREEMENT (LDEV 200001), DEVELOPER IS REQUIRED TO PROVIDE A 10 FT WIDE TEMPORARY GRADING EASEMENT FOR FUTURE WIDENING CONSTRUCTION OF BANNERMAN ROAD.
- THE 30 FT WIDE TYPE 'C' BUFFER AND ALL ADDITIONAL AREA LOCATED WEST OF THE BULL HEADLEY RIGHT-OF-WAY (ROW) AND WITHIN THE LIMITS OF PARCELS 1408-20-000000-0000 AND 1408-20-000000-0000 SHALL BE OWNED AND MAINTAINED BY GOLDEN OAK LAND GROUP, LLC. GOLDEN OAK LAND GROUP, LLC WILL ALSO BE RESPONSIBLE FOR MAINTENANCE OF STREET TREES WITHIN THE ROW. THE OWNERSHIP AND MAINTENANCE FOR STREET TREES AND THE LANDSCAPE BUFFER AREA WEST OF THE ROW MAY BE REVISED DURING FUTURE PERMITTING AND/OR PLATTING OF THE CAWTHON PROPERTY DEVELOPMENTS. THE COUNTY HAS NO OBLIGATIONS FOR MAINTENANCE OF THE STREET TREES AND LANDSCAPE BUFFER AREA WEST OF THE PUBLIC ROW. SHOULD THE LANDSCAPING OR OTHER FACILITIES BE PLACED WITHIN THE BULL HEADLEY EXTENSION RIGHT-OF-WAY, NO DEDICATION OF THE RIGHT-OF-WAY SHALL BE ACCEPTED BY THE COUNTY UNTIL SUCH TIMES AS THE PARTIES AGREE IN WRITING TO THE CONTINUED MAINTENANCE AND/OR RENEWAL OF SAID LANDSCAPING OR FACILITIES.
- LEON COUNTY IS NOT RESPONSIBLE FOR REPLACING OR REPAIRING DISTURBED BUFFER PLANTINGS.
- ALL PROPOSED LANDSCAPING WITHIN BANNERMAN DRIVE ROW SHALL BE MAINTAINED BY MULTI-FAMILY DEVELOPER. LEON COUNTY IS NOT RESPONSIBLE FOR REPLACING OR REPAIRING DISTURBED PLANTINGS OR IRRIGATION. DEVELOPER SHALL DESIGNATE A PRIVATE ENTITY TO BE RESPONSIBLE FOR LONG TERM MAINTENANCE OF LANDSCAPING AT TIME OF ROW DEDICATION.
- NO CERTIFICATES OF OCCUPANCIES SHALL BE ISSUED FOR THE PROPOSED MULTI-FAMILY DEVELOPMENT UNTIL THE BULL HEADLEY EXTENSION AND BANNERMAN DRIVE PUBLIC RIGHT-OF-WAYS HAVE BEEN CONSTRUCTED AND DEDICATED TO THE COUNTY BY DEED CONVEYANCE.
- FUTURE BANNERMAN DRIVE AND BULL HEADLEY ROW ARE PROPOSED AS PART OF LEON COUNTY PERMIT LEM1-056.
- THE 45' WIDE AREA LABELED AS FUTURE DEDICATED RIGHT-OF-WAY SHALL BE OWNED AND MAINTAINED BY GOLDEN OAK LAND GROUP, LLC UNTIL THE AREA HAS BEEN LEGALLY DEDICATED TO THE PUBLIC.
- ALL SUPPORTING INFRASTRUCTURE, INCLUDING BANNERMAN DRIVE, BULL HEADLEY ROAD AND OFFSITE STORMWATER AND UTILITIES SHALL BE COMPLETE AND ACCEPTED PRIOR TO FINAL CLOSEOUT OF THE MULTI-FAMILY IMPROVEMENTS.
- EXISTING ACCESS EASEMENTS PROPOSED AS PART OF LEM1-026 SHALL FACILITATE ACCESS TO PARCEL 1408-20-000000-0000 UNTIL THE BULL HEADLEY ROAD AND BANNERMAN DRIVE PUBLIC RIGHT-OF-WAYS HAVE BEEN DEDICATED TO THE COUNTY. (OR BK 5619 PG 2554)

LINE	LENGTH	BEARING
L1	112.39	S89°59'59.99"E
L3	82.80	S85°12'04.56"E
L5	150.61	N90°00'00.00"E
L7	15.23	N46°12'55.32"E
L8	3.92	N54°14'42.91"E
L9	12.04	S40°24'09.25"E
L10	12.84	N42°40'09.77"W
L11	344.64	N40°24'09.25"W
L13	36.06	N5°15'10.03"W
L15	68.97	N8°53'14.02"W
L16	851.81	S89°59'59.47"W
L17	483.77	N0°52'46.37"W
L20	64.00	N49°35'50.75"E
L21	12.87	N35°52'33.69"W
L22	102.67	N40°24'09.25"W
L23	20.99	N22°21'59.75"W
L24	222.01	N40°24'09.25"W
L26	36.06	N5°15'10.03"W
L28	77.73	N8°53'14.02"W
L29	56.68	S89°59'59.47"W

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C1	214.00	17.82	S87°36'02"E	17.82	4°47'55"	8.87
C2	286.00	23.99	S87°36'02"E	23.99	4°47'55"	11.98
C3	336.00	164.80	N75°56'57"E	163.15	28°08'07"	84.09
C4	163.00	112.27	N22°49'40"W	110.51	35°08'59"	57.96
C5	328.00	20.81	N7°04'12"W	20.80	3°38'04"	10.41
C6	238.00	146.62	N22°49'40"W	144.33	35°08'59"	75.70
C7	272.00	17.25	N7°04'12"W	17.25	3°38'04"	8.63
C8	20.00	29.52	N1°53'09"E	26.91	84°34'29"	18.19
C9	313.50	4.04	N43°48'10"E	4.04	0°44'19"	2.02
C10	197.50	37.71	N48°54'12"E	37.69	10°56'25"	18.91
C11	174.50	18.18	N57°01'54"E	18.17	9°58'13"	9.19
C12	232.50	24.90	N30°58'40"E	24.89	6°08'15"	12.48
C13	232.50	30.39	N24°10'09"E	30.33	7°28'47"	15.20
C14	57.50	41.52	N50°36'09"E	40.62	41°22'16"	21.71



DATE: _____

REVISIONS:

NO.	DATE	BY	DESCRIPTION
1	8/27/21	AC	ISSUED FOR PERMIT

Kimley»Horn

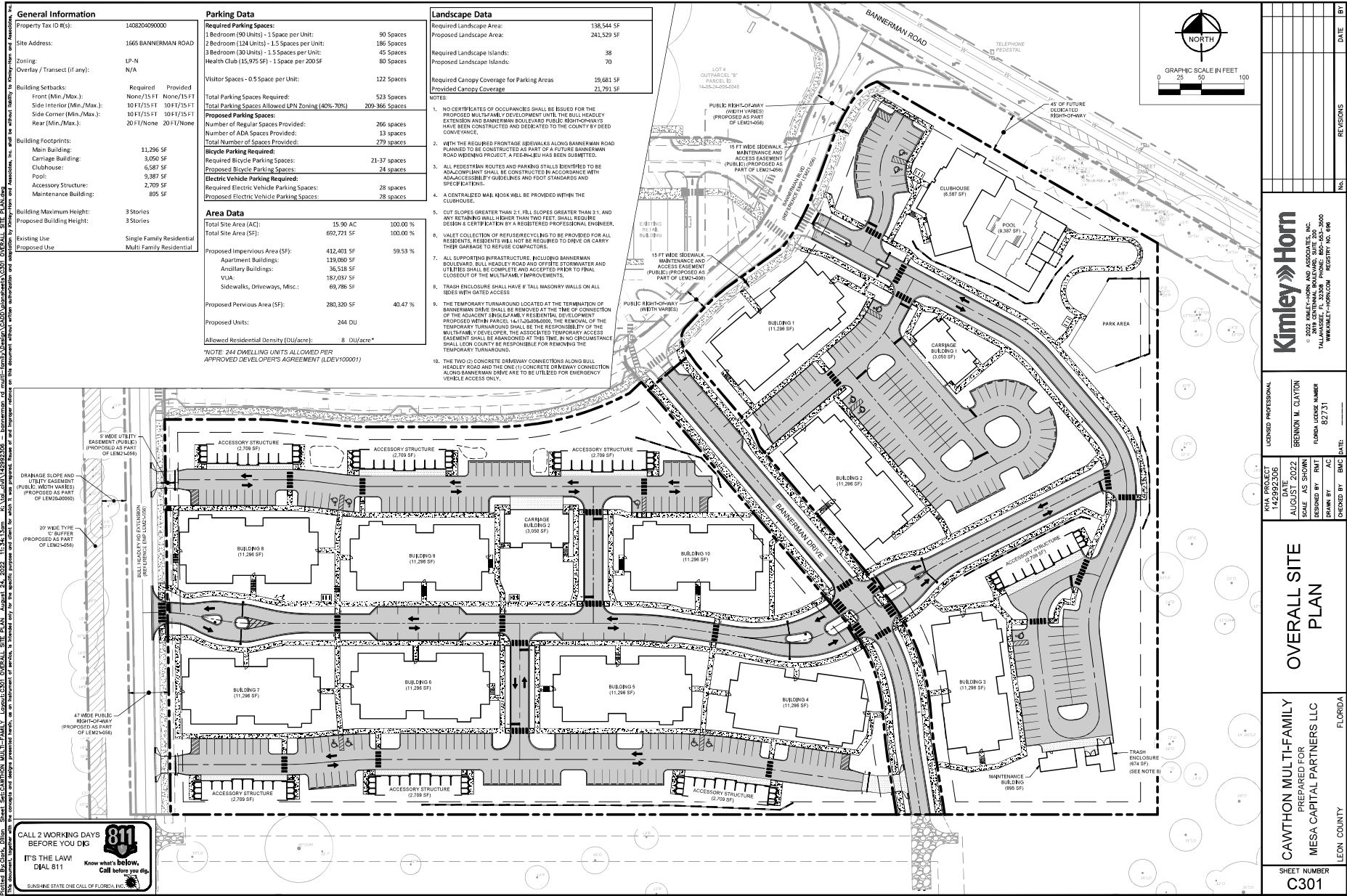
© 2021 KIMLEY-HORN AND ASSOCIATES, INC.
2818 CENTRAL BOULEVARD, SUITE 200
TALLAHASSEE, FLORIDA 32309
TALLAHASSEE, FLORIDA
TELEPHONE: 904.244.1200
FAX: 904.244.1201
WWW.KIMLEY-HORN.COM

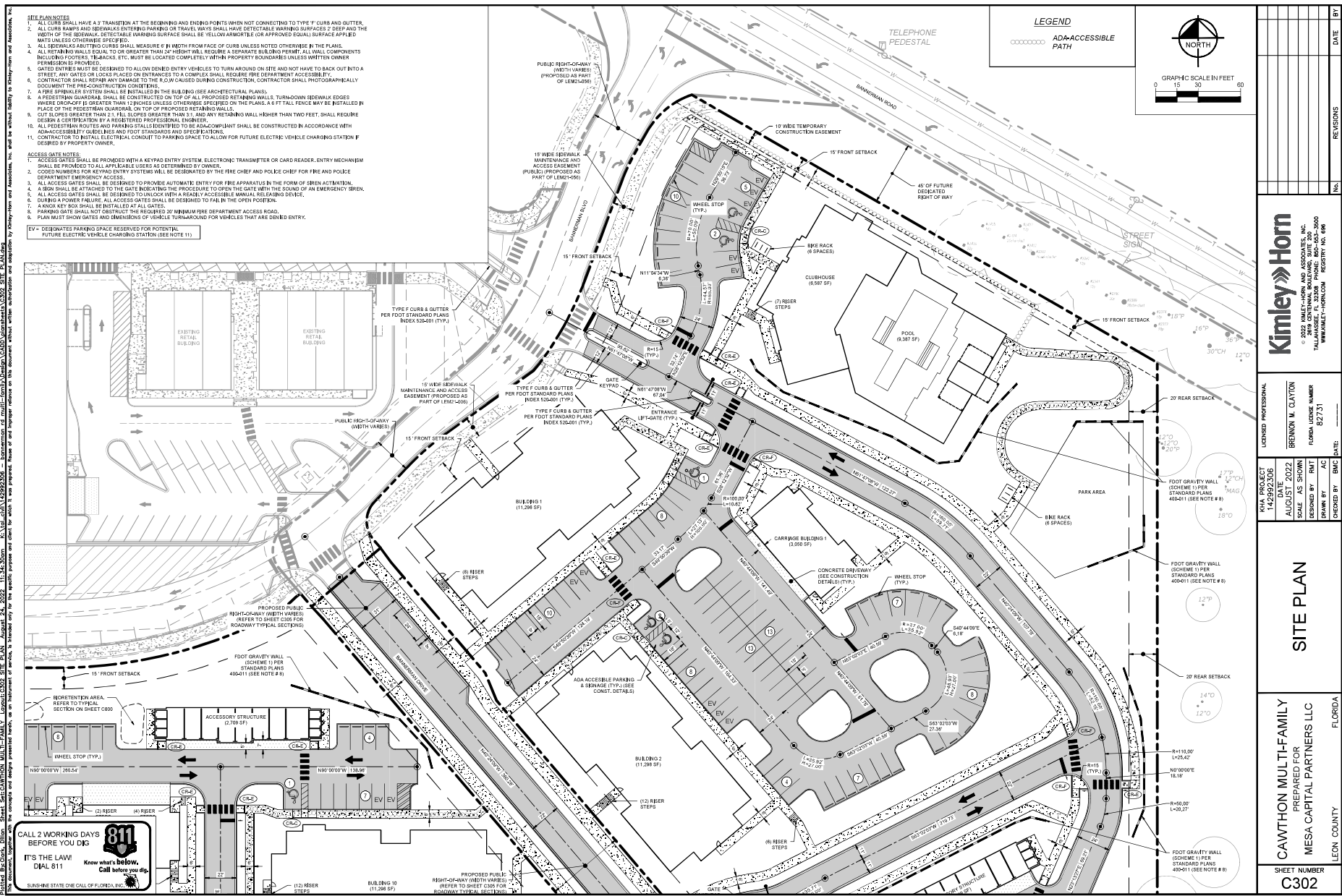
LICENSED PROFESSIONAL
BRENNON L. CLAYTON
AUGUST 2022
SCALE AS SHOWN
DESIGNED BY BMT
DRAWN BY AC
CHECKED BY BNC
DATE: _____

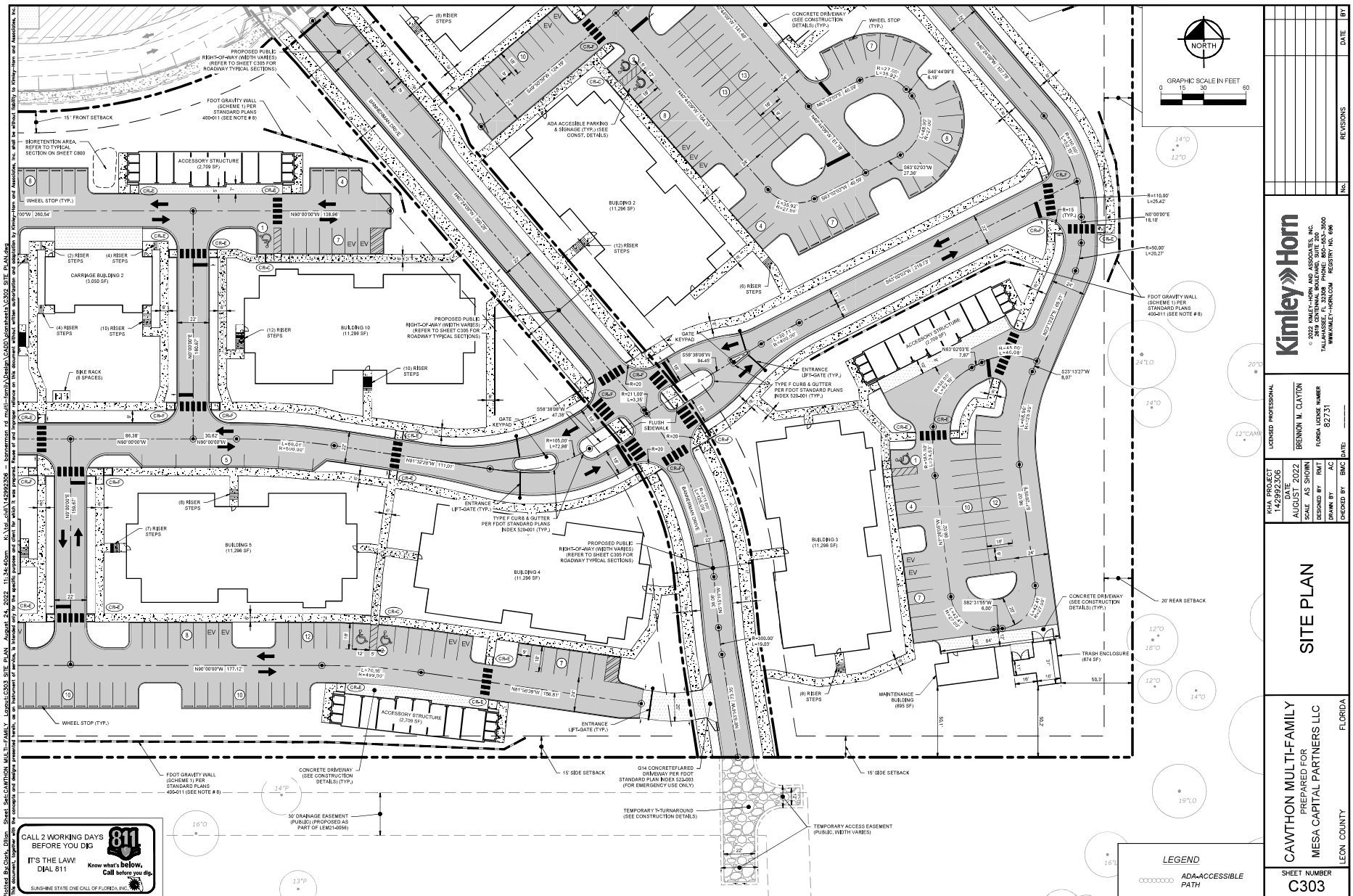
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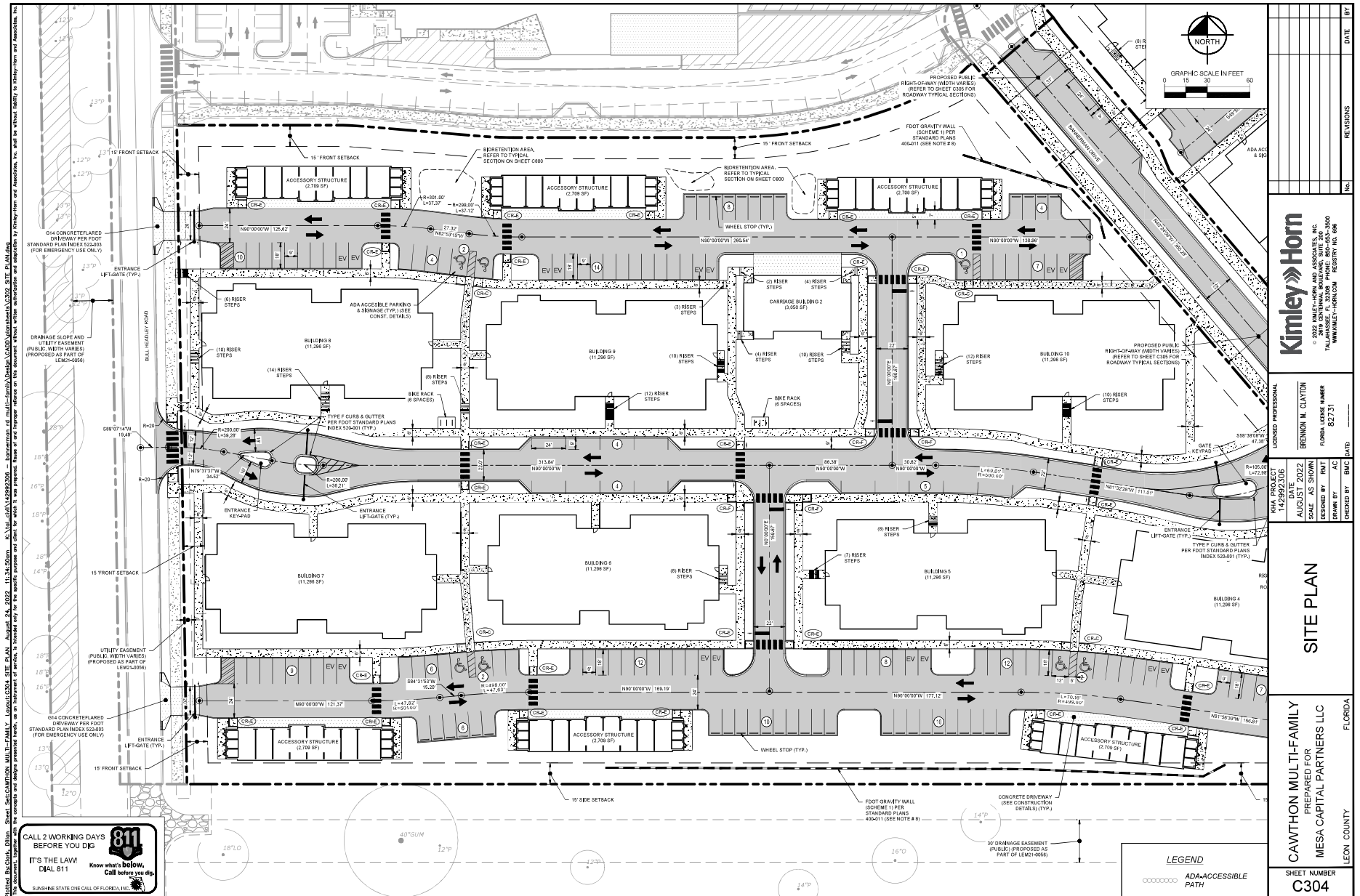
CAWTHON MULTI-FAMILY
PREPARED FOR
MESA CAPITAL PARTNERS LLC
FLORIDA
LEON COUNTY

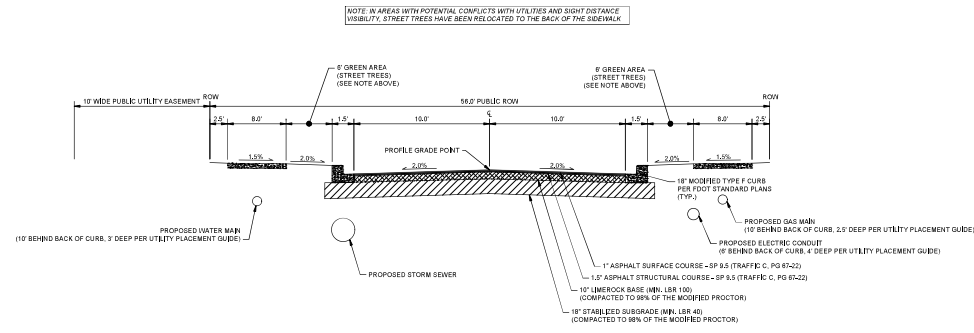
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C300



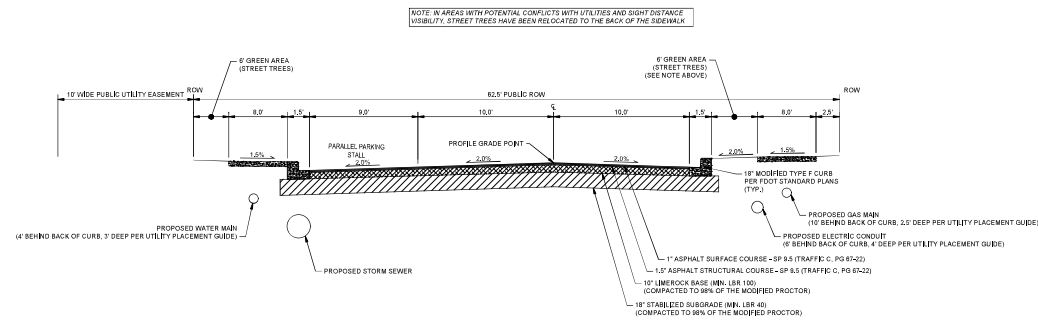








BANNERMAN DRIVE (56' PUBLIC RIGHT-OF-WAY)
TYPICAL SECTION
M.T.S.
DESIGN SPEED: 25 MPH
POSTED SPEED: 25 MPH




**BANNERMAN DRIVE (62.5' PUBLIC RIGHT-OF-WAY)
WITH PARALLEL PARKING
TYPICAL SECTION**
N.T.S.
DESIGN SPEED: 25 MPH
POSTED SPEED: 25 MPH

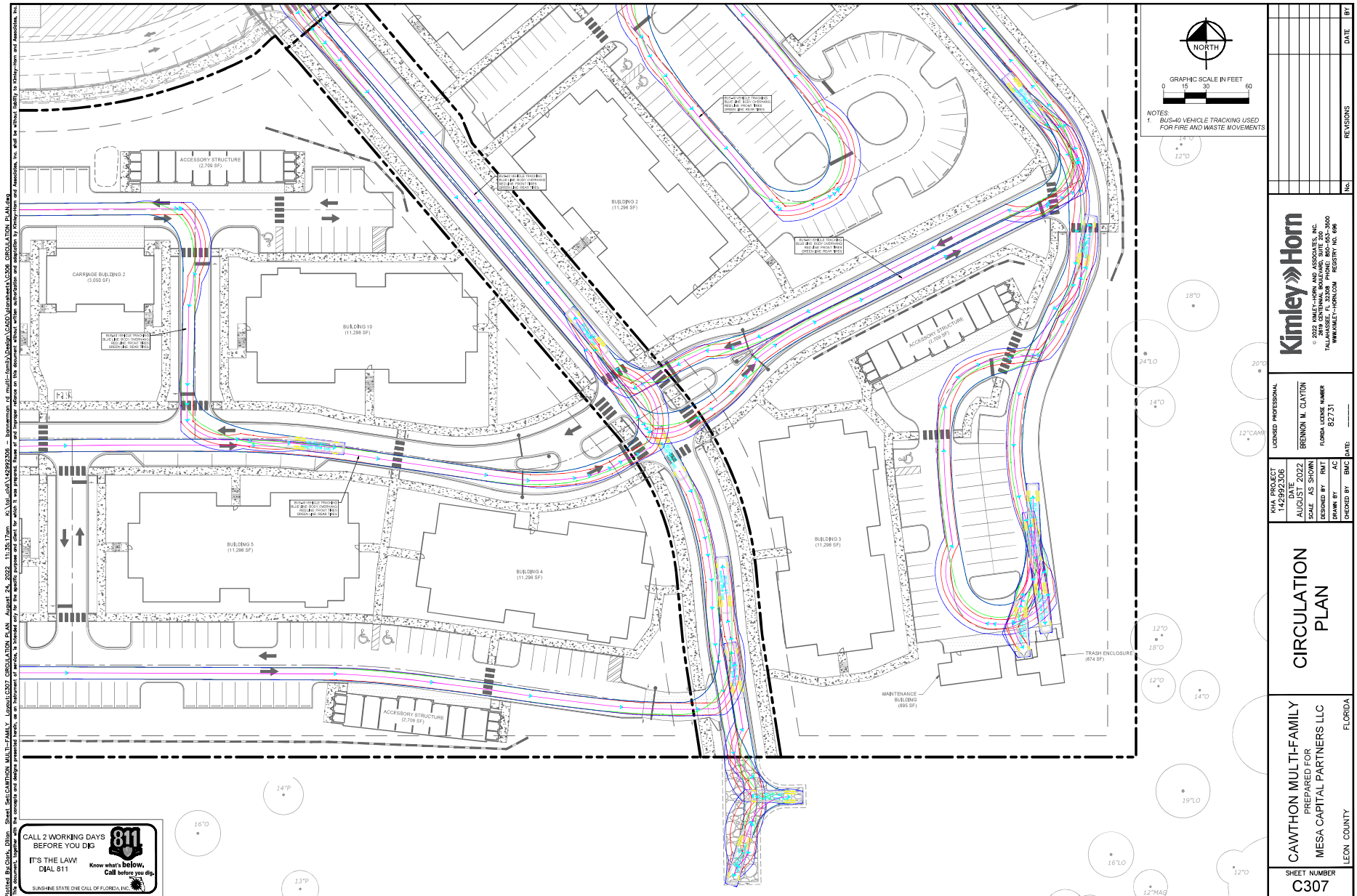
CALL 2 WORKING DAYS
BEFORE YOU DIG

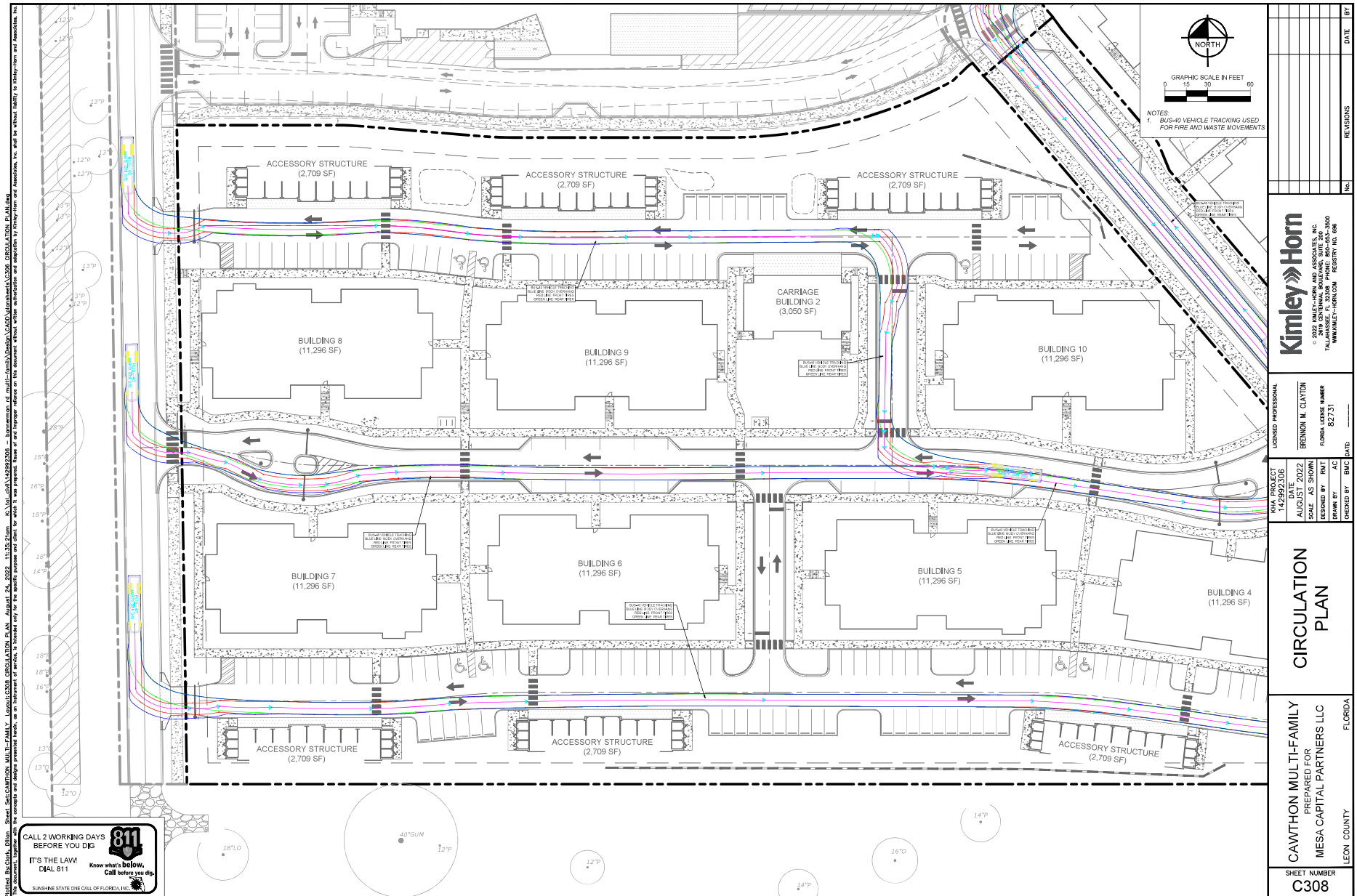
**IT'S THE LAW!
DIAL 811**

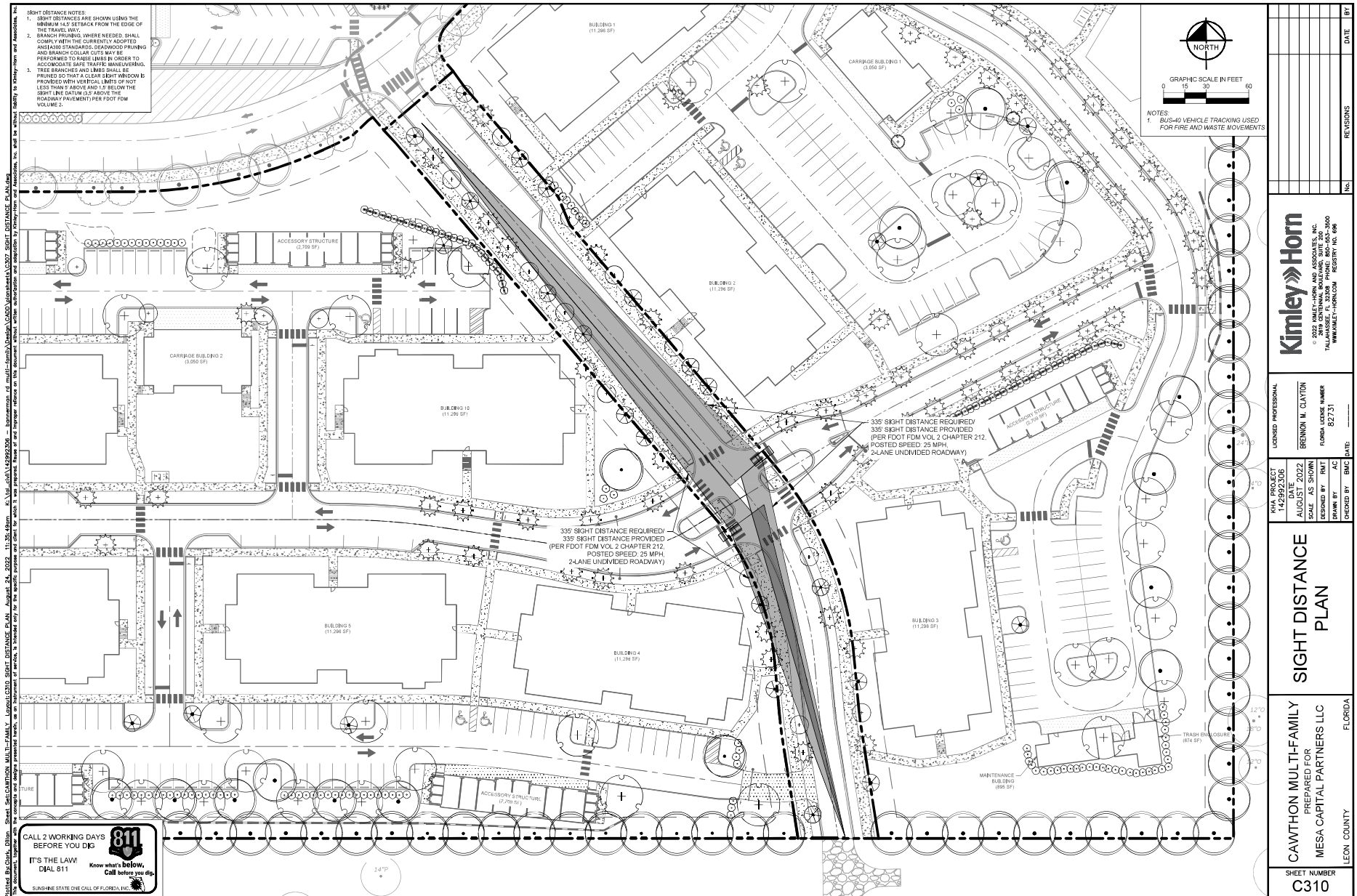
**Know what's below.
Call before you dig.**

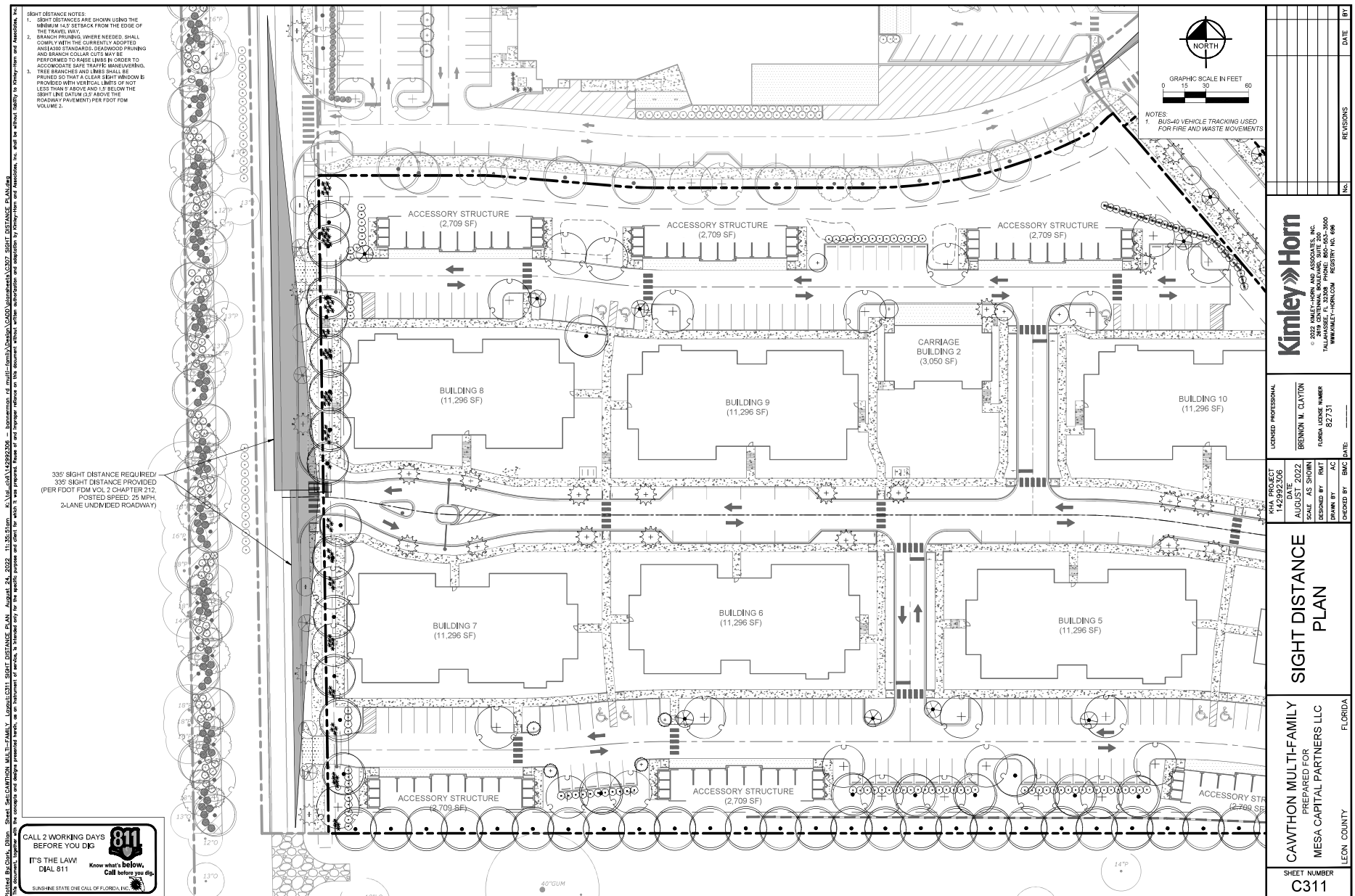
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

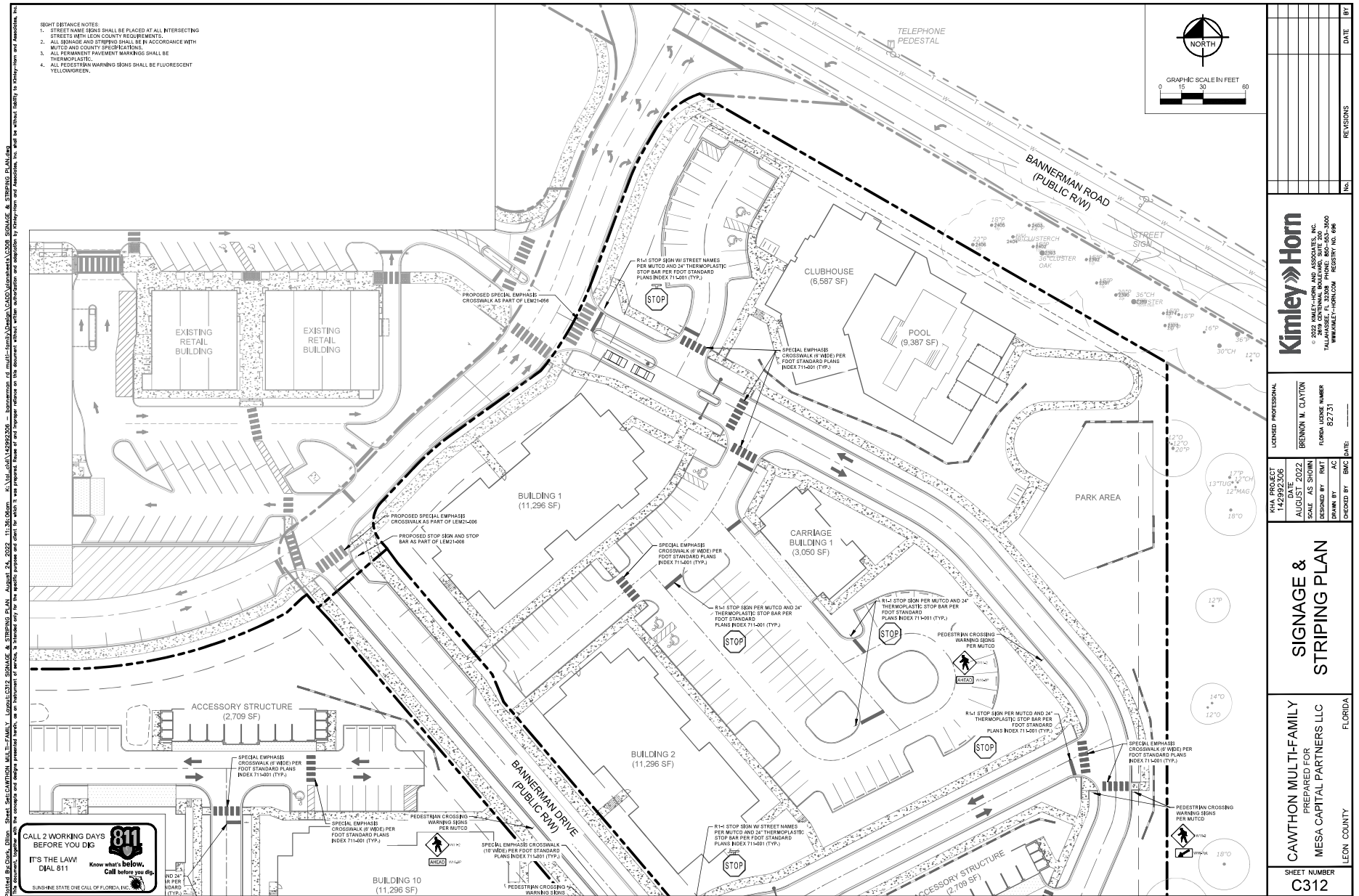
SHEET NUMBER C305	CAWTHON MULTI-FAMILY PREPARED FOR MESA CAPITAL PARTNERS LLC	ROADWAY TYPICAL SECTIONS	4914 PROJECT 142992306 DATE AUGUST 2022 SCALE AS SHOWN DESIGNED BY NMT DRAWN BY AC CHECKED BY BMC FLORIDA	 Kimley-Horn © 2002 KIMLEY-HORN AND ASSOCIATES, INC. TALLAHASSEE, FL 32308 PHONE 850-502-3500 WWW.KIMLEY-HORN.COM REGISTRY NO. 098	NO.	REVISIONS	DATE	BY

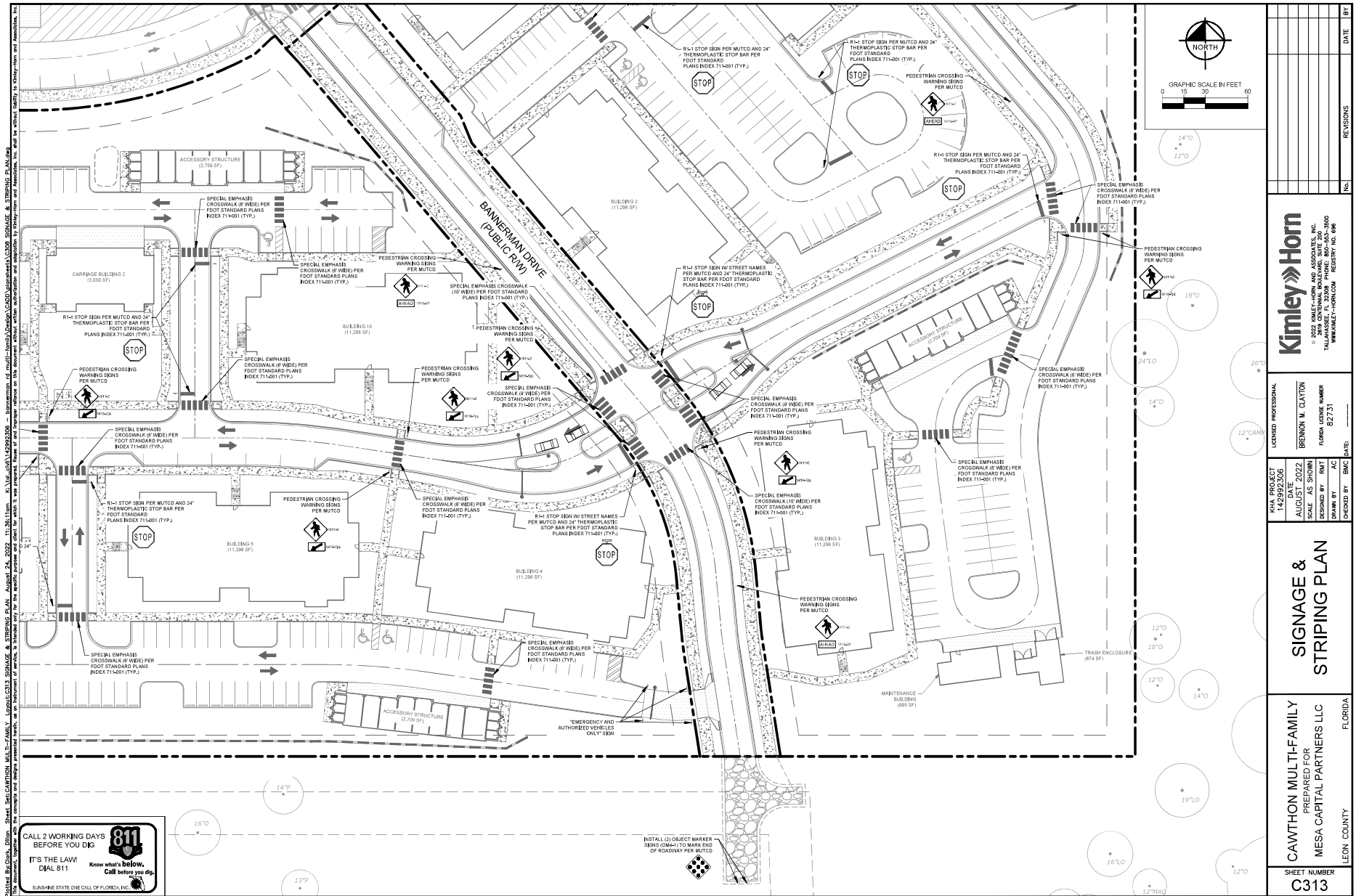


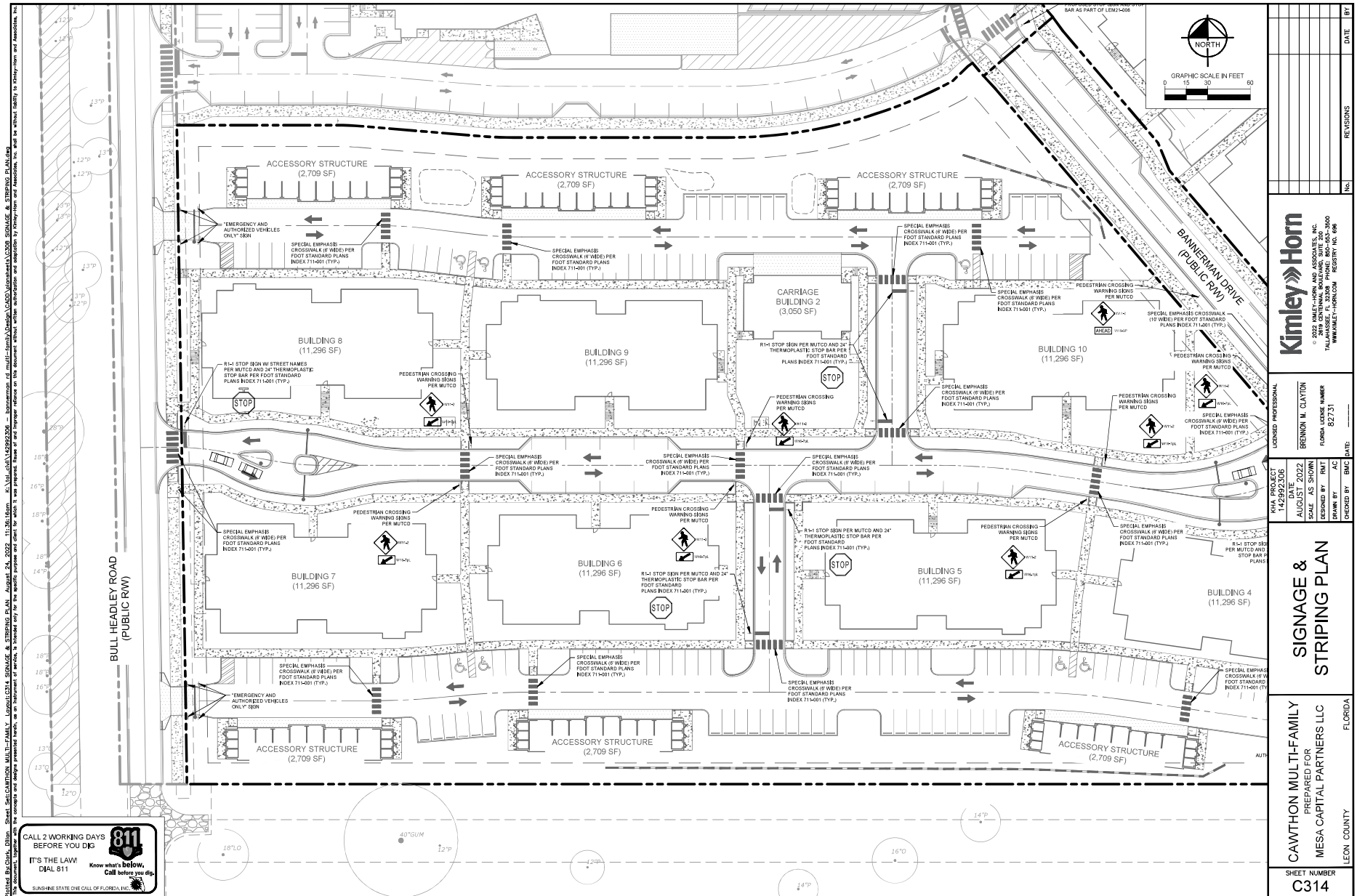


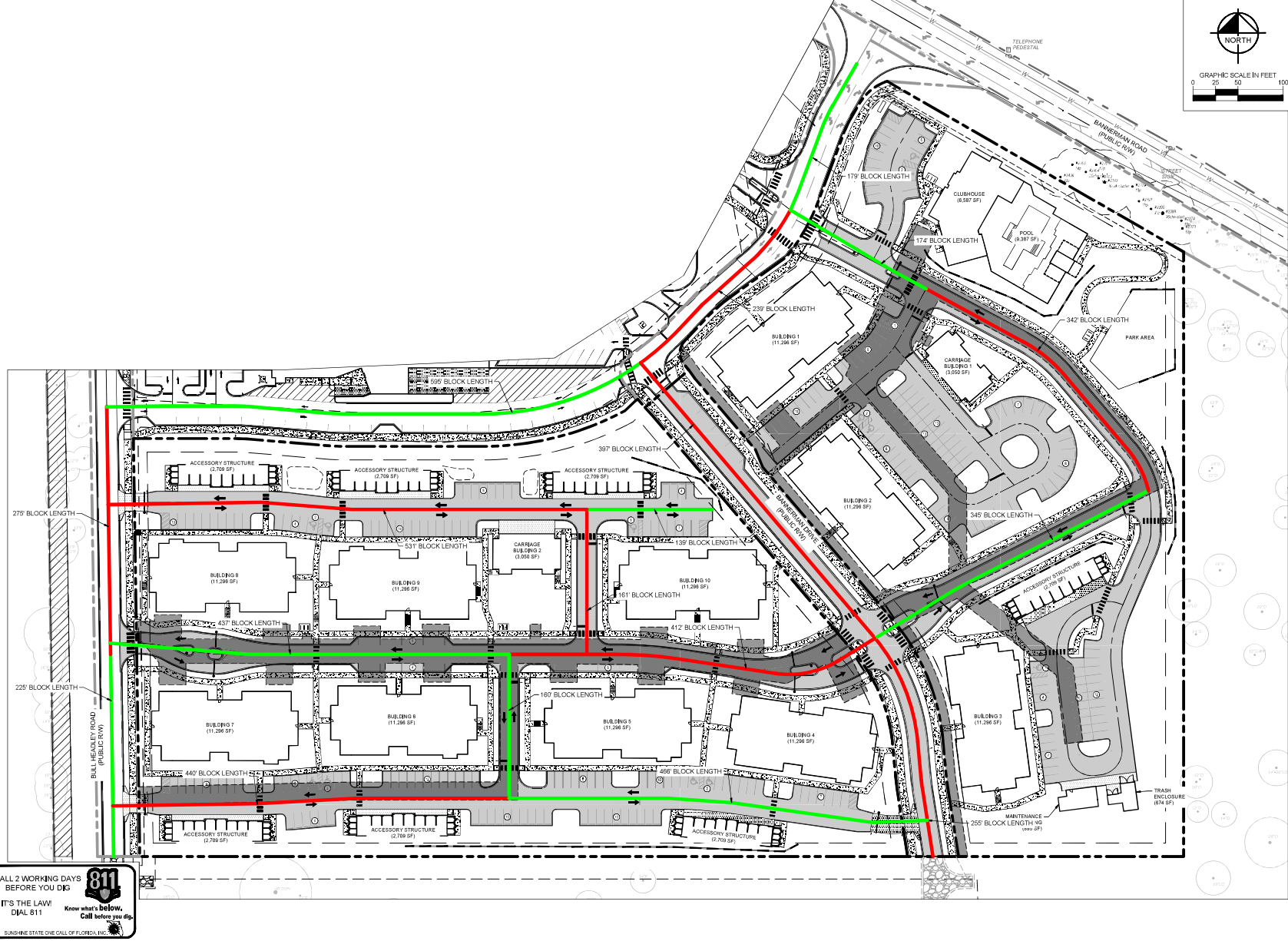






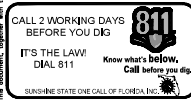






CAWTHON MULTI-FAMILY
PREPARED FOR
MESA CAPITAL PARTNERS LLC

SHEET NUMBER
C315

[illegible]

**CALL 2 WORKING DAYS
BEFORE YOU DIG**

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DIAL 811**

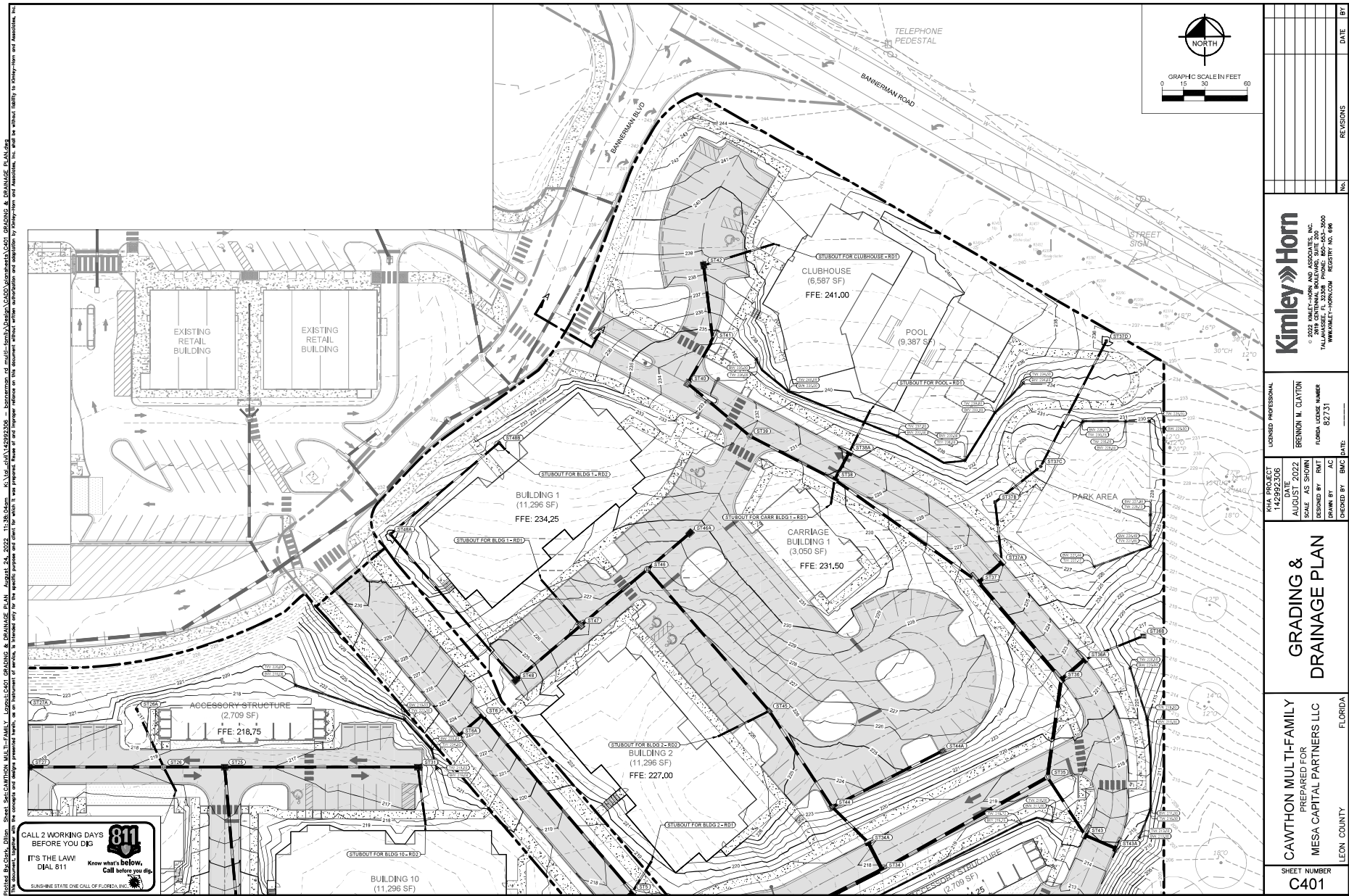
**Know what's below.
Call before you dig**

SUNSHINE STATE ONE CALL OF FLORIDA, INC.



CAWTHON MULTI-FAMILY
PREPARED FOR
MESA CAPITAL PARTNERS LLC

SHEET NUMBER
C400

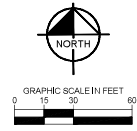



**CALL 2 WORKING DAYS
BEFORE YOU DIG**

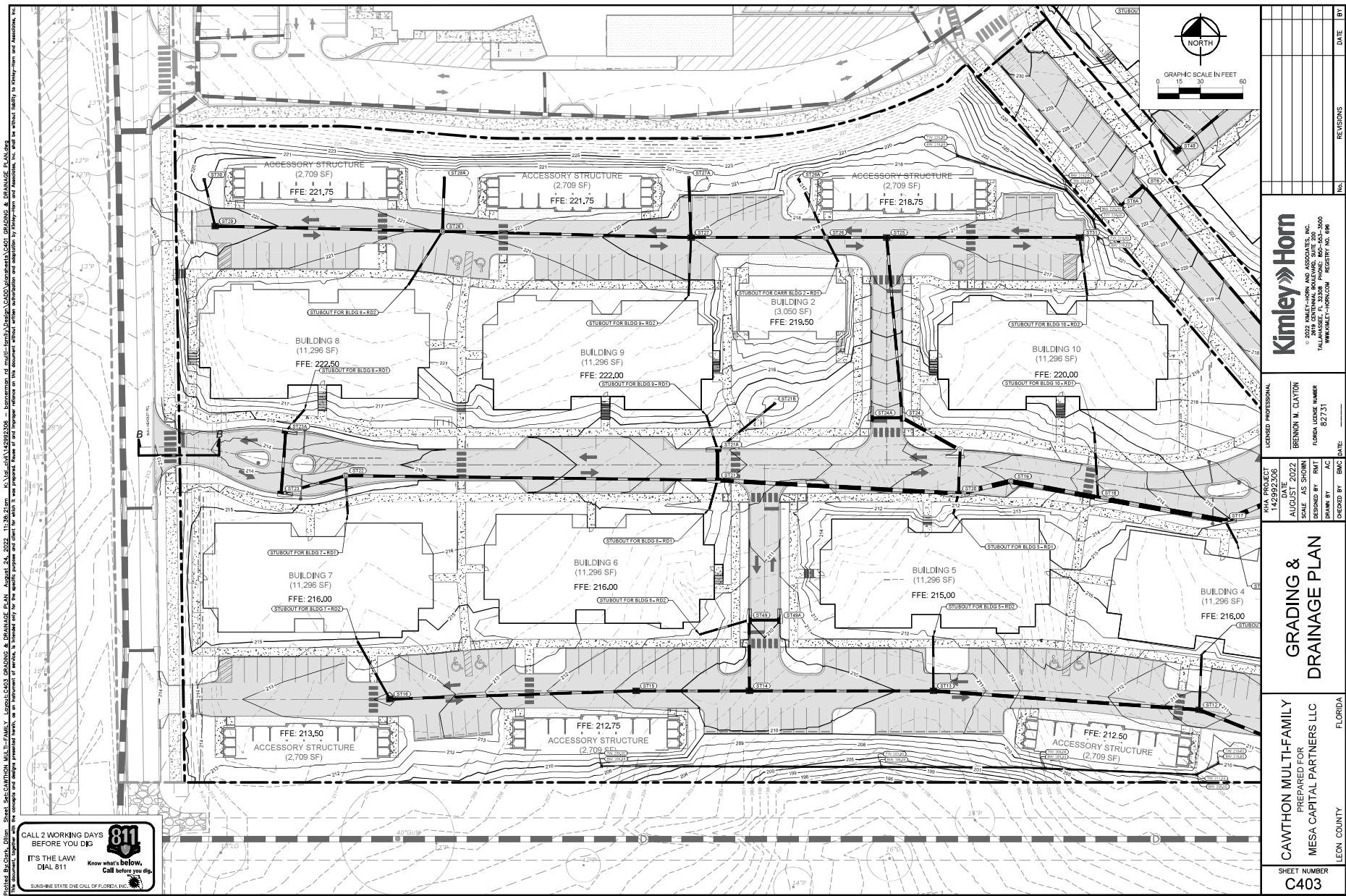
**IT'S THE LAW!
DIAL 811**

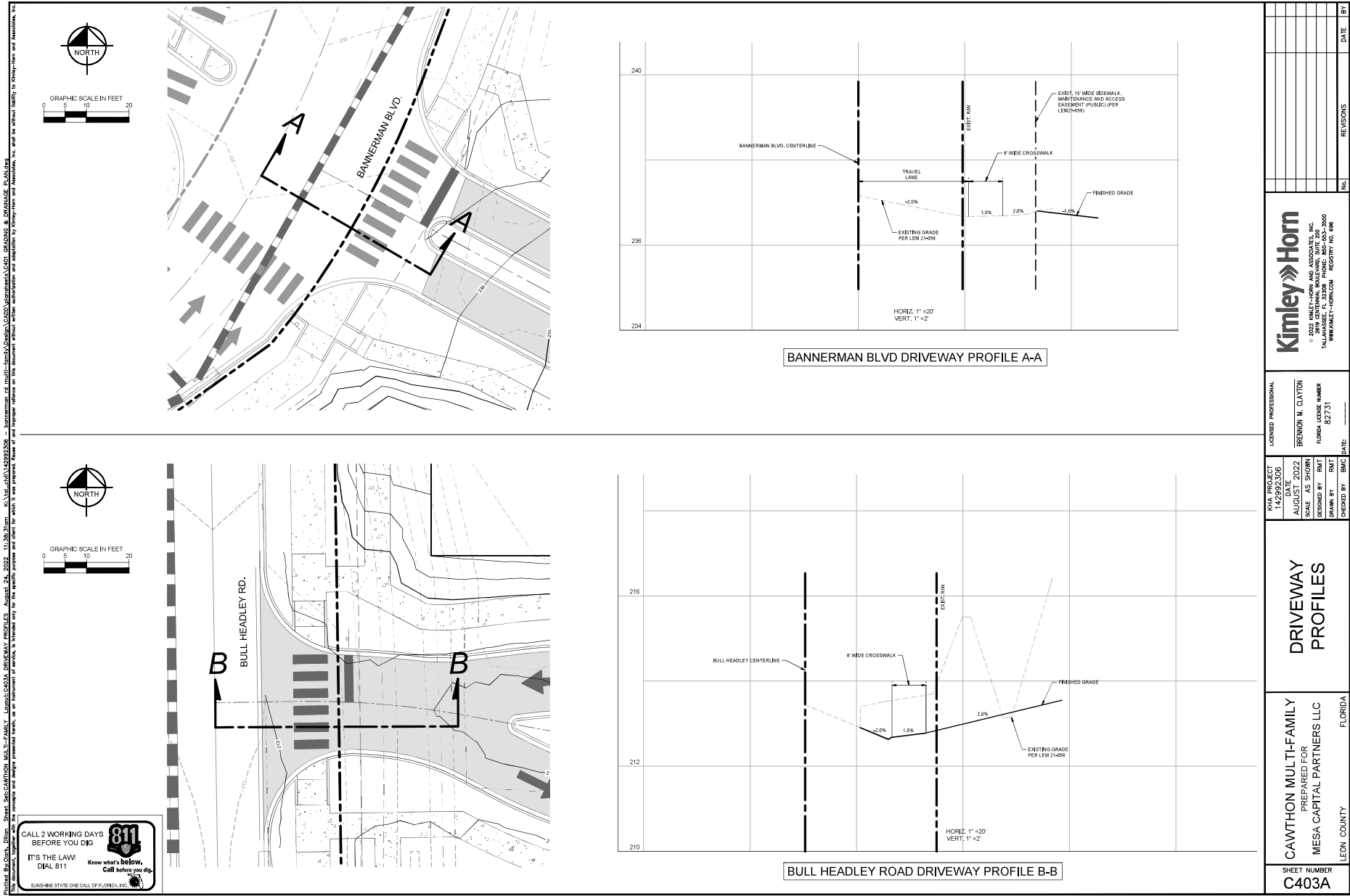
**Know what's below.
Call before you dig.**

SUNSHINE STATE ONE CALL OF FLORIDA, INC.



C402		SHEET NUMBER		LEON COUNTY		FLORIDA		CAWTHON MULTI-FAMILY PREPARED FOR MESA CAPITAL PARTNERS LLC		GRADING & DRAINAGE PLAN		KHA PROJECT 142992-306		DATE AUGUST 2022		SCALE AS SHOWN		DESIGNED BY BENT		DRAWN BY AC		CHECKED BY BMC		DATE		LISCENSED PROFESSIONAL		 Kimley-Horn © 2022 KIMLEY-HORN AND ASSOCIATES, INC. 2022 KIMLEY-HORN AND ASSOCIATES, INC. TALLAHASSEE, FL 32308 PHONE: 800-453-5000 WWW.KIMLEY-HORN.COM REGISTRY NO. 696		NO. _____ REVISIONS _____ DATE _____ BY _____	
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PROJECT NO.: 142992306
DATE: AUGUST 2022
SCALE: AS SHOWN
DESIGNED BY: NMT
DRAWN BY: BMC
CHECKED BY: AC

RMA PROJECT
142992306
DATE
AUGUST 2022
SCALE AS SHOWN
DESIGNED BY NMT
DRAWN BY BMC
CHECKED BY AC

LICENSED PROFESSIONAL

BRENNON M. CLAYTON
FLORIDA LICENSE NUMBER
82731



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TALLAHASSEE, FL 32308 PHONE 850-562-3500
WWW.KIMLEY-HORN.COM REGISTRY NO. 696

DATE

BY

CAWTHON MULTI-FAMILY
PREPARED FOR
MESA CAPITAL PARTNERS LLC


LEON COUNTY
FLORIDA

STORMWATER
STRUCTURE
TABLE

STRUCTURE NAME:
DETAILS:
PIPES IN:
PIPES OUT

STUBOUT FOR POOL - RD1
INV OUT: 228.00
TO ST38A, 12" HP STORM PP INV OUT: 228.00 @ 12.75% (SW)

CALL 2 WORKING DAYS
BEFORE YOU DIG
IT'S THE LAW!
DIAL 811
Know what's below.
Call before you dig.
SUNSHINE STATE ONE CALL OF FLORIDA



STRUCTURE NAME:
DETAILS:
PIPES IN:
PIPES OUT

STUBOUT FOR BLDG 2 - RD2
INV OUT: 220.00
TO ST45, 12" HP STORM PP INV OUT: 220.00 @ 0.50% (NE)

STUBOUT FOR BLDG 3 - RD1
INV OUT: 207.00
TO ST3, 12" HP STORM PP INV OUT: 207.00 @ 1.00% (SW)

STUBOUT FOR BLDG 3 - RD2
INV OUT: 205.50
TO ST8, 12" HP STORM PP INV OUT: 205.50 @ 6.74% (SE)

STUBOUT FOR BLDG 4 - RD1
INV OUT: 208.00
TO ST17, 12" HP STORM PP INV OUT: 208.00 @ 32.46% (NW)

STUBOUT FOR BLDG 4 - RD2
INV OUT: 206.75
TO ST12, 12" HP STORM PP INV OUT: 206.75 @ 11.11% (S)

STUBOUT FOR BLDG 5 - RD1
INV OUT: 206.00
TO ST20, 12" HP STORM PP INV OUT: 206.00 @ 12.29% (N)

STUBOUT FOR BLDG 5 - RD2
INV OUT: 206.00
TO ST13, 12" HP STORM PP INV OUT: 206.00 @ 8.82% (S)

STUBOUT FOR BLDG 6 - RD1
INV OUT: 207.50
TO ST21, 12" HP STORM PP INV OUT: 207.50 @ 3.62% (N)

STUBOUT FOR BLDG 6 - RD2
INV OUT: 205.00
TO ST48, 12" HP STORM PP INV OUT: 205.00 @ 0.83% (E)

STUBOUT FOR BLDG 7 - RD1
INV OUT: 208.50
TO ST22, 12" HP STORM PP INV OUT: 208.50 @ 5.34% (N)

STUBOUT FOR BLDG 7 - RD2
INV OUT: 208.50
TO ST16, 12" HP STORM PP INV OUT: 208.50 @ 3.76% (SE)

STUBOUT FOR BLDG 8 - RD1
INV OUT: 214.00
TO ST23A, 12" HP STORM PP INV OUT: 214.00 @ 27.30% (SW)

STUBOUT FOR BLDG 8 - RD2
INV OUT: 216.00
TO ST28, 12" HP STORM PP INV OUT: 216.00 @ 5.16% (NE)

STUBOUT FOR BLDG 9 - RD1
INV OUT: 214.00
TO ST21A, 12" HP STORM PP INV OUT: 214.00 @ 28.05% (S)

STUBOUT FOR BLDG 9 - RD2
INV OUT: 215.00
TO ST27, 12" HP STORM PP INV OUT: 215.00 @ 5.30% (N)

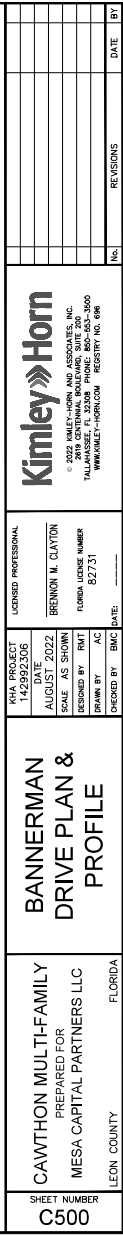
STUBOUT FOR BLDG 10 - RD1
INV OUT: 208.00
TO ST18, 12" HP STORM PP INV OUT: 208.00 @ 9.34% (S)

STUBOUT FOR BLDG 10 - RD2
INV OUT: 213.22
TO ST31, 12" HP STORM PP INV OUT: 213.22 @ 4.21% (N)

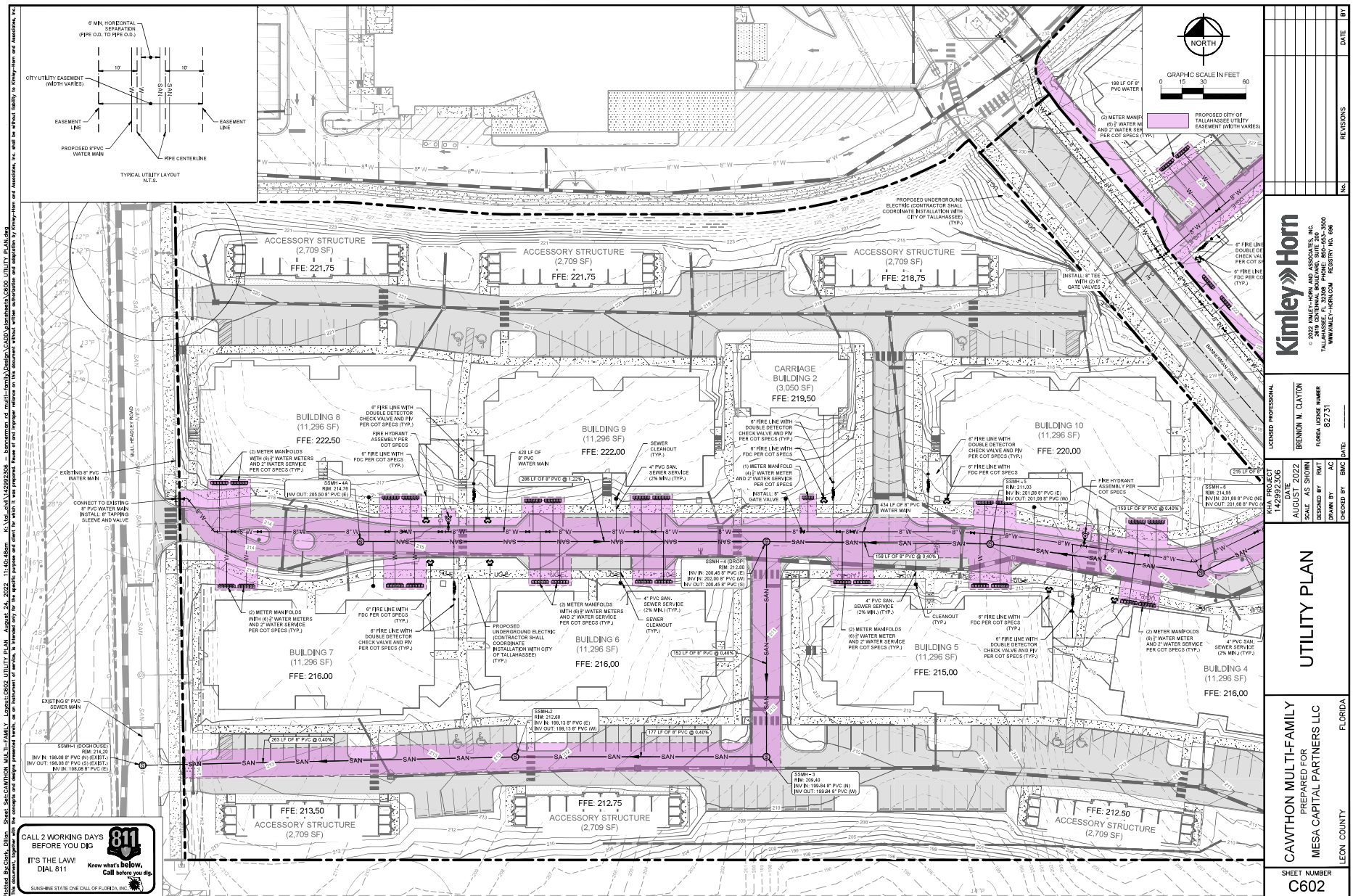
STUBOUT FOR CARR BLDG 1 - RD1
INV OUT: 224.50
TO ST38, 12" HP STORM PP INV OUT: 224.50 @ 4.87% (N)

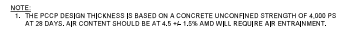
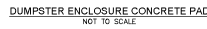
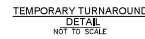
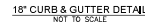
STUBOUT FOR CARR BLDG 2 - RD1
INV OUT: 212.53
TO ST26, 12" HP STORM PP INV OUT: 212.53 @ 1.00% (NM)

STUBOUT FOR CLUBHOUSE - RD1
INV OUT: 233.76
TO ST42, 12" HP STORM PP INV OUT: 233.76 @ 0.55% (W)





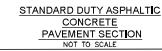




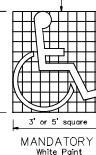
N.T.S



NOT TO SCALE



1



ADA STRIPING AND SIGNAGE
NOT TO SCALE

- NOTES:
1. STRIPING IS TO BE PAINT, CONFORMING WITH FDOT STANDARD INDEX 17346.
 2. DIMENSIONS SHOWN ARE TO THE CENTRELINE OF THE SYMBOL.
 3. ALL POSTS SHALL BE PLACED AT THE INTERSECTION OF THE STRIPES. SIGNS AS SHOWN, FABRICATED WITH REFLECTIVE COATING IN THE SYMBOL, MESSAGE, AND LETTERING. ALL APPLIED LETTERING SHALL BE IN UPPERCASE.
 4. MESSAGE LETTERING SHALL BE PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
 5. ALL POSTS SHALL BE GALVANIZED AND ALL BOLTS, NUTS, WASHERS, AND SCREWS SHALL BE RUSTPROOF. POST SHALL BE PLACED A MINIMUM OF 2' CLEAR FROM EDGE OF CONCRETE SIDEWALK. POST SHALL HAVE 3/4" HOLES ON CENTER. MINIMUM LENGTH, MINIMUM SIGNS WITH 5/16x2-1/8" BOLTS, TOP AND BOTTOM OF SIGNS.

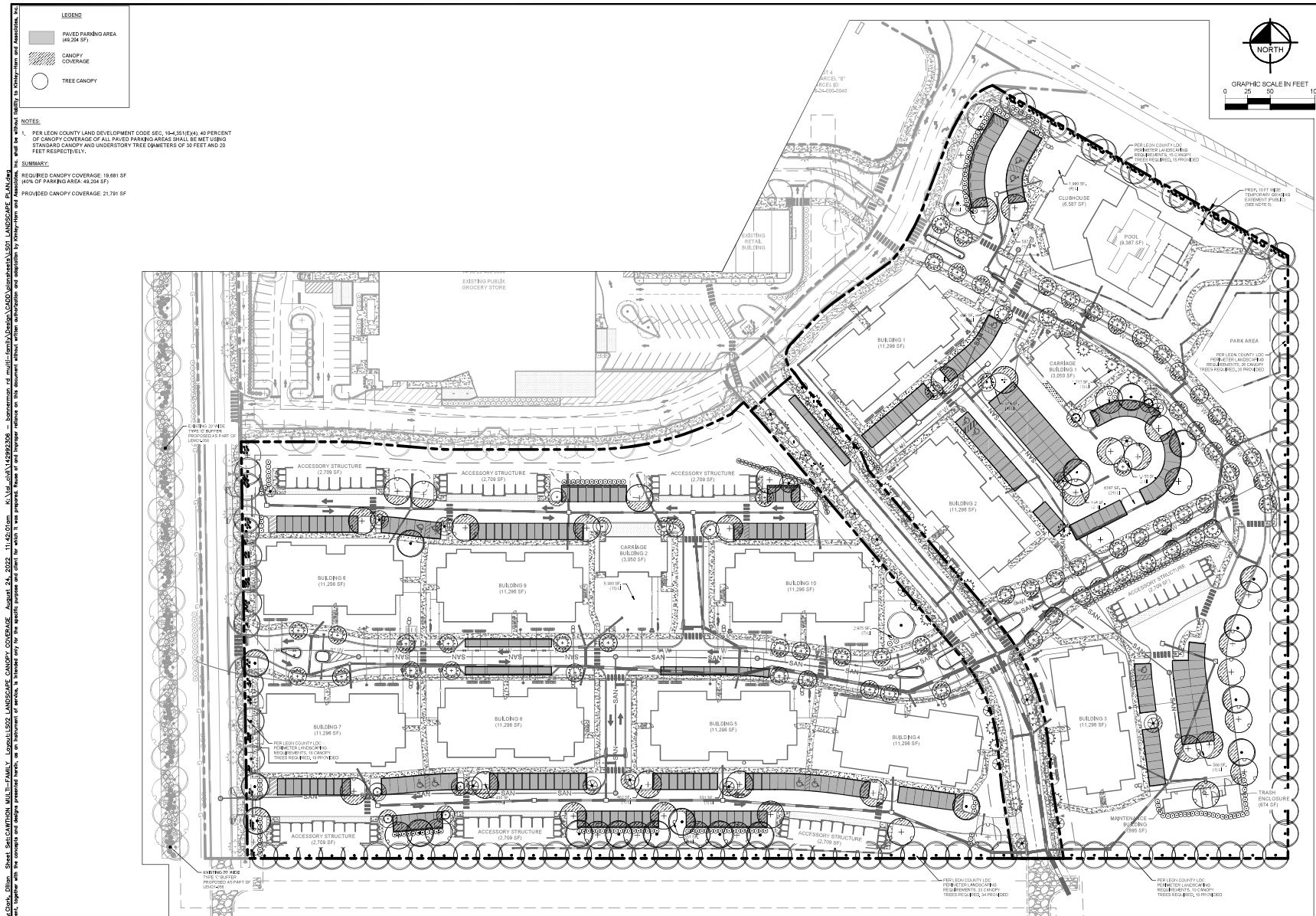
Kimley»»Horn
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2619 CENTENNIAL BOULEVARD, SUITE 200
TALLAHASSEE, FL 32308 PHONE: 850-453-3500
WWW.KIMLEY-HORN.COM REGISTRY NO. 6996

KHA PROJECT 142992306	LICENSED PROFESSIONAL
DATE AUGUST 2022	<u>BRENNON M. CLAYTON</u>
SCALE AS SHOWN	FLORIDA LICENSE NUMBER 82731
DESIGNED BY RMT	DATE: _____
DRAWN BY AC	
CHECKED BY BMC	


CONSTRUCTION DETAILS

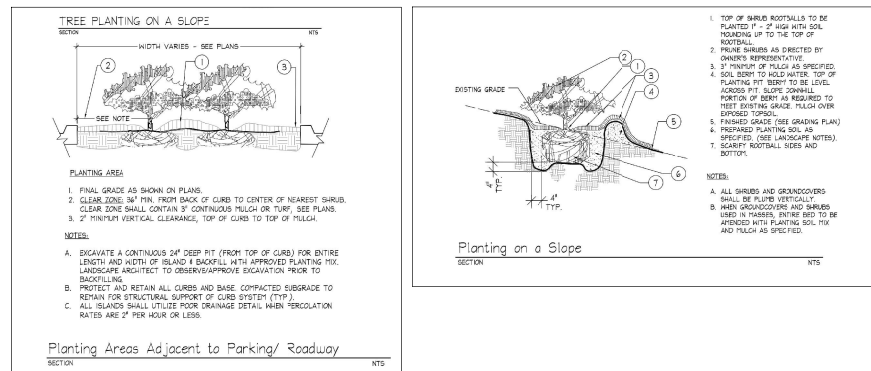
SHEET NUMBER C800	CAWTHON MULTI-FAMILY PREPARED FOR MESA CAPITAL PARTNERS LLC	LEON COUNTY FLORIDA
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Plotted By: Clark, Dillon
Sheet Set: CANTHON MULTI-FAMILY
Landscape: LS02 LANDSCAPE CANOPY COVERAGE
August 24, 2022 11:42:11am
K:\td_civil\1429922306 - barnerman rd multi-family\Design\CADD\plansheets\LS01 LANDSCAPE PLAN.dwg

SHEET NUMBER LS02		CAWTHON MULTI-FAMILY PREPARED FOR MESA CAPITAL PARTNERS LLC		LANDSCAPE CANOPY COVER		KHA PROJECT TH-24-000 DATE AUGUST 2022 SCALE AS SHOWN DESIGNED BY RMT DRAWN BY AC 6/2/31		LICENSED PROFESSIONAL BRENNON M. CLAYTON FLORIDA LICENSE NUMBER 62731		 <p>© 2022 KIMLEY-HORN AND ASSOCIATES, INC. 1000 KENTWOOD PARKWAY, SUITE 300 TALLAHASSEE, FLORIDA 32308 WWW.KIMLEY-HORN.COM REGISTRY NO. 696</p>		No.		REVISIONS		DATE		BY	
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SHEET NUMBER LS03	LEON COUNTY FLORIDA	CAWTHON MULTI-FAMILY PREPARED FOR MESA CAPITAL PARTNERS LLC	LANDSCAPE DETAILS	KHA PROJECT 142992206 DATE AUGUST 2022 SCALE AS SHOWN DESIGNED BY TMT DRAWN BY AC CHECKED BY	KIMLEY-HORN BRENNAN M. CLAYTON FLORIDA LICENSE NUMBER 02731 DATE: _____ BMC	KIMLEY-HORN 2022 KIMLEY-HORN AND ASSOCIATES, INC. 10000 N. W. 11TH AVENUE, SUITE 200 TALLAHASSEE, FL 32308 PHONE: 800-663-3600 WWW.KIMLEY-HORN.COM REGISTRY NO. 696	No. REVISIONS DATE BY
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